

PRELIMINARY & FINAL MAJOR SITE PLAN

FOR

17-19 COLFAX STREET

BLOCK 95 - LOTS 12 & 13

BOROUGH OF RARITAN

SOMERSET COUNTY, NEW JERSEY

GENERAL NOTES

- CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE STATE AND LOCAL PERMITS HAVE BEEN OBTAINED PRIOR TO BIDDING / COMMENCING WORK.
- THE SUBJECT PROPERTY IS IDENTIFIED AS LOTS 12 & 13 IN BLOCK 95 AS SHOWN ON THE BOROUGH OF RARITAN TAX MAP SHEET 22.
- TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON REFERENCE NUMBER 3.
- LOTS 12 & 13 ARE LOCATED WITHIN THE "R-4, MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT" AS PER THE BOROUGH OF RARITAN ZONE MAP DATED JUNE 2013.
- THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER THE FIRM FLOOD INSURANCE RATE MAP, SOMERSET COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 134 OF 301, MAP NUMBER 340350134E, EFFECTIVE DATE SEPTEMBER 28, 2007.
- VERTICAL AND HORIZONTAL DATUMS PER REFERENCE NUMBER 3 (VERTICAL DATUM NAVD83; HORIZONTAL DATUM NAD83).
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS REPRESENTED ON THE PLANS. HE SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF VARIATIONS ARE FOUND.
- ALL WORK SHALL BE SUBJECT TO INSPECTION BY AND APPROVAL OF THE MUNICIPALITY. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE REQUIREMENTS OF THESE INSPECTIONS WITH THE MUNICIPALITY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL WORK WITH THE BOROUGH OF RARITAN.
- EXISTING CONDITIONS ARE REPRESENTED WITH AN "ITALIC" FONT AND PROPOSED CONDITIONS ARE REPRESENTED WITH AN "UPRIGHT" FONT.
- THE CONTRACTOR SHALL COMPLY WITH THE NEW JERSEY ONE CALL REGULATIONS BY CALLING 1 (800) 272-1000 PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION.
- ALL WORK SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST APPLICABLE FEDERAL, STATE, COUNTY & MUNICIPAL ORDINANCES, REGULATIONS & SPECIFICATIONS.
- REFERENCE THE LATEST APPROVED ARCHITECTURAL DRAWINGS FOR BUILDING:
 - DIMENSIONS
 - DETAILS
 - FOUNDATION DESIGN & DETAILS
 - UTILITY CONNECTIONS
 - CONSTRUCTION PURPOSES (INCLUDING BUILDING STAKEOUT)
- AS PER THE USDA NATURAL RESOURCES CONSERVATION SERVICE THE GENERAL SOIL TYPES IN THE VICINITY OF THE PROJECT ARE AS FOLLOWS:
 - RarAr: RARITAN SILT LOAM, 0 TO 3 PERCENT SLOPES, RARELY FLOODED (100K)
- ALL FIELD ADJUSTMENTS AND / OR DEVIATIONS FROM THE APPROVED PROJECT DOCUMENTS / PLANS MUST BE APPROVED BY THE MUNICIPALITY. FIELD ADJUSTMENTS AND / OR DEVIATIONS MADE WITHOUT THE APPROVAL OF THE MUNICIPALITY ARE PERFORMED AT THE RISK OF THE PROJECT OWNER AND / OR CONTRACTOR. THE PROJECT OWNER / CONTRACTOR SHALL BE RESPONSIBLE TO SUBMIT THESE ADJUSTMENTS AND / OR DEVIATIONS TO THE MUNICIPALITY FOR APPROVAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE ADJACENT PROPERTY OWNERS FOR ANY WORK THAT MAY IMPACT THEIR PROPERTY PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE MUNICIPALITY AS REQUIRED PRIOR TO CONSTRUCTION REGARDING CONSTRUCTION SCHEDULING AND PHASING. IF REQUIRED HE SHALL BE RESPONSIBLE TO SUBMIT FOR APPROVAL TO THE MUNICIPALITY A PROPOSED MAINTENANCE AND PROTECTION OF TRAFFIC PLAN AND CONSTRUCTION PHASING PLAN FOR THE COMMENCEMENT OF WORK.
- SUBSURFACE ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THESE PLANS.
- REFER TO REFERENCE NUMBER 3 FOR ALL EXISTING BUILDING, FENCE & WALL OFFSET DIMENSIONS TO THE PROPERTY LINES AND FOR KNOWN EXISTING SITE COVENANTS, DEED RESTRICTIONS, EASEMENTS OR EXCEPTIONS.
- EXISTING STRUCTURES WITHIN 200' OF THE PROJECT TRACT ARE BASED ON REFERENCE NUMBER 3 AND GOOGLE EARTH 06/05/2022 AERIAL IMAGE OBTAINED 01/21/2023.

"CHAPTER 207 LAND USE AND DEVELOPMENT" VARIANCES REQUESTED

- SECTION 207-108 F.
MINIMUM FRONT YARD SETBACK
REQUIRED, 25' : REQUESTED, 10.1' (TO BALCONY)
REQUIRED, 25' : REQUESTED, 12.7' (TO PRINCIPAL WALL)
- SECTION 207-108 F.
MINIMUM SIDE YARD (ONE) SETBACK
REQUIRED, 6' : REQUESTED, 0.35'
- SECTION 207-108 F.
MAXIMUM BUILDING HEIGHT (STORIES)
REQUIRED, 2.5 : REQUESTED, 3
- SECTION 207-108 F.
MAXIMUM IMPERVIOUS COVERAGE
REQUIRED, 30% : REQUESTED, 82.9%
- SECTION 207-108 F.
MINIMUM NET FLOOR AREA PER DWELLING UNIT
REQUIRED, 1,000 SF : REQUESTED, 700 SF (UNITS 2, 3 & 4)
REQUIRED, 1,000 SF. : REQUESTED, 770 SF. (UNIT 1)

NOTE: "MULTIFAMILY RESIDENTIAL" USE VARIANCE PREVIOUSLY APPROVED (PER REFERENCE 7)

"CHAPTER 207 LAND USE AND DEVELOPMENT" DESIGN WAIVERS REQUESTED

- SECTION 207-63. A (4)
PARKING SCREENING
REQUIRED, REQUESTED, TO NOT PROVIDE ALONG FRONT YARD
(PARALLEL STALLS NOT SCREENED FACING STREET)
- SECTION 207-63. A (9)
PARKING LOCATION
REQUIRED, NOT PERMITTED IN FRONT YARD : REQUESTED, TO PROVIDE IN FRONT YARD
(PORTION OF ONE PARALLEL STALL)
- SECTION 207-63. B (3)
MINIMUM DRIVEWAY WIDTH
REQUIRED, 24' : REQUESTED, 20'
- SECTION 207-66. F (12)
LIGHT FIXTURE LOCATIONS
REQUIRED, NOT PERMITTED WITHIN SIDE OR REAR YARD SETBACKS : REQUESTED, TO PERMIT IN SIDE & REAR YARD SETBACKS
- SECTION 207-67. C (9)
MINIMUM BUFFER
REQUIRED, 15' : REQUESTED, 5.5'
- SECTION 207-67. C (9)
BUFFER PLANTING
REQUIRED, EVERGREEN : REQUESTED, FENCING

RESIDENTIAL SITE IMPROVEMENT STANDARDS DE MINIMIS EXCEPTIONS REQUESTED

NO DE MINIMIS EXCEPTIONS ARE REQUESTED AS PART OF THIS APPLICATION.

PROPERTY OWNERS WITHIN 200'

REFER TO SHEET 9 FOR THE LIST.

PROJECT DIRECTORY

ATTORNEY
BRACH EICHLER, LLC
101 EISENHOWER PARKWAY
ROSELAND, NEW JERSEY 07068

ARCHITECT
JAMES P. CUTLLO ASSOCIATES
593 NEWARK POMPTON TURNPIKE
POMPTON PLAINS, NEW JERSEY 07444

PLANNING
LANGAN
300 KIMBALL DRIVE, 4TH FLOOR
PARIS, NEW JERSEY 07654

CON. ENGINEERING
MCB ENGINEERING ASSOCIATES, L.L.C.
11 FURLER STREET, P.O. BOX 588
TOTOWA, NEW JERSEY 07511-0588

SURVEYOR
DMC ASSOCIATES, INC.
6 CAREY AVENUE
BUTLER, NEW JERSEY 07405

LIST OF DRAWINGS

- TITLE SHEET
- SITE PLAN
- GRADING & UTILITY PLAN
- LIGHTING & LANDSCAPING PLAN
- SOIL EROSION & SEDIMENT CONTROL PLAN
- SITE DETAILS
- SITE DETAILS
- SITE DETAILS
- SITE DETAILS

REFERENCES

- THE BOROUGH OF RARITAN TAX MAP SHEET 22
- THE BOROUGH OF RARITAN ZONE MAP DATED JUNE 2013.
- SURVEY ENTITLED: "BOUNDARY AND TOPOGRAPHIC SURVEY OF, TAX LOTS 12 AND 13, BLOCK 95, A.K.A. 17 AND 19 COLFAX AVENUE, BOROUGH OF RARITAN, SOMERSET COUNTY, NEW JERSEY", PREPARED BY DMC ASSOCIATES, INC., REVISED 01/30/2023.
- ARCHITECTURAL PLANS ENTITLED: "NEW 3 STORY BUILDING TO BE ERRECTED FOR THE COLFAX APARTMENTS, LLC AT 17-19 COLFAX STREET IN RARITAN, NJ", PREPARED BY JAMES P. CUTLLO ASSOCIATES, REVISED 02/13/2023.
- FIRM FLOOD INSURANCE RATE MAP, SOMERSET COUNTY, NEW JERSEY (ALL JURISDICTIONS) PANEL 134 OF 301, MAP NUMBER 340350134E, EFFECTIVE DATE, SEPTEMBER 28, 2007.
- UNITED STATES DEPARTMENT OF AGRICULTURE (NRCS) NATURAL RESOURCES CONSERVATION SERVICE SOILS REPORT FOR SOMERSET COUNTY JANUARY 21, 2023.
- BOROUGH OF RARITAN BOARD OF ADJUSTMENT RESOLUTION FOR BLOCK 95 LOTS 12 & 13 APPROVED APRIL 6, 2022 MEMORIALIZED MAY 25, 2022.

BOROUGH OF RARITAN BOARD OF ADJUSTMENT

THIS PLAN IS APPROVED BY THE BOROUGH OF RARITAN BOARD OF ADJUSTMENT ON _____ DATE _____

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

CLERK _____ DATE _____

BOARD ENGINEER _____ DATE _____

PROPERTY INFORMATION

BLOCK: 95
LOT: 12
ADDRESS: 19 COLFAX STREET
RARITAN, NEW JERSEY 08869

LOT AREA: 7,191.00 SF. [0.165 (±) ACRES]

BLOCK: 95
LOT: 13
ADDRESS: 17 COLFAX STREET
RARITAN, NEW JERSEY 08869

LOT AREA: 8,203.00 SF. [0.188 (±) ACRES]

TOTAL TRACT AREA: 15,394.00 SF. [0.353 (±) ACRES]
(AREA & ADDRESS PER REFERENCE NUMBER 3)

SITE OWNER

THE COLFAX APARTMENTS, LLC
106 LIBERTY CORNER ROAD
WARREN, NEW JERSEY 07059
(CONTACT PERSON: KEVIN HDAYAT : 908-801-4087)

APPLICANT

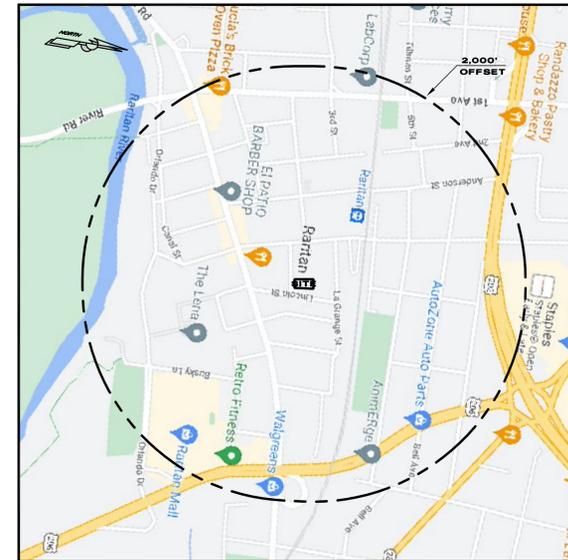
THE COLFAX APARTMENTS, LLC
106 LIBERTY CORNER ROAD
WARREN, NEW JERSEY 07059
(CONTACT PERSON: KEVIN HDAYAT : 908-801-4087)



AERIAL MAP

(SCALE: 1" = 100'±)

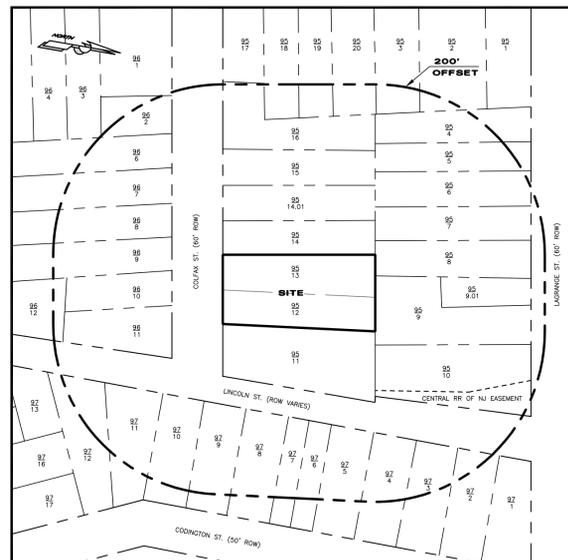
(BASED ON GOOGLE EARTH 06/05/2022 AERIAL IMAGE OBTAINED 01/21/2023)



STREET MAP

(SCALE: 1" = 800'±)

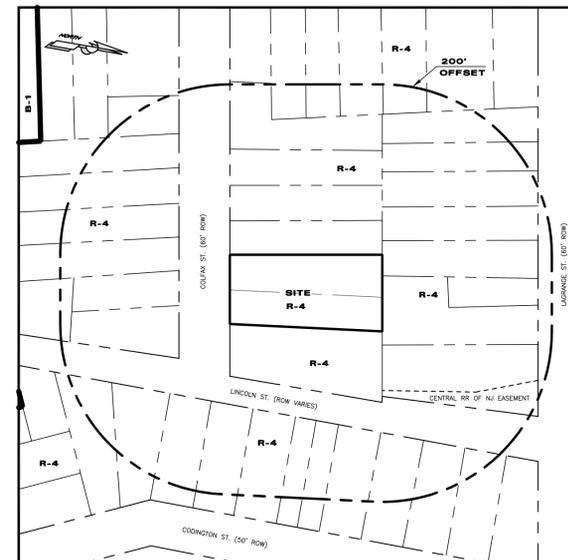
(BASED ON GOOGLE MAPS IMAGE OBTAINED 01/26/2023)



TAX MAP

(SCALE: 1" = 100'±)

(BASED ON THE BOROUGH OF RARITAN TAX MAP SHEET 22)



ZONING MAP

(SCALE: 1" = 100'±)

(BASED ON THE BOROUGH OF RARITAN ZONE MAP DATED JUNE 2013)

PLANS PREPARED BY:



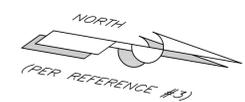
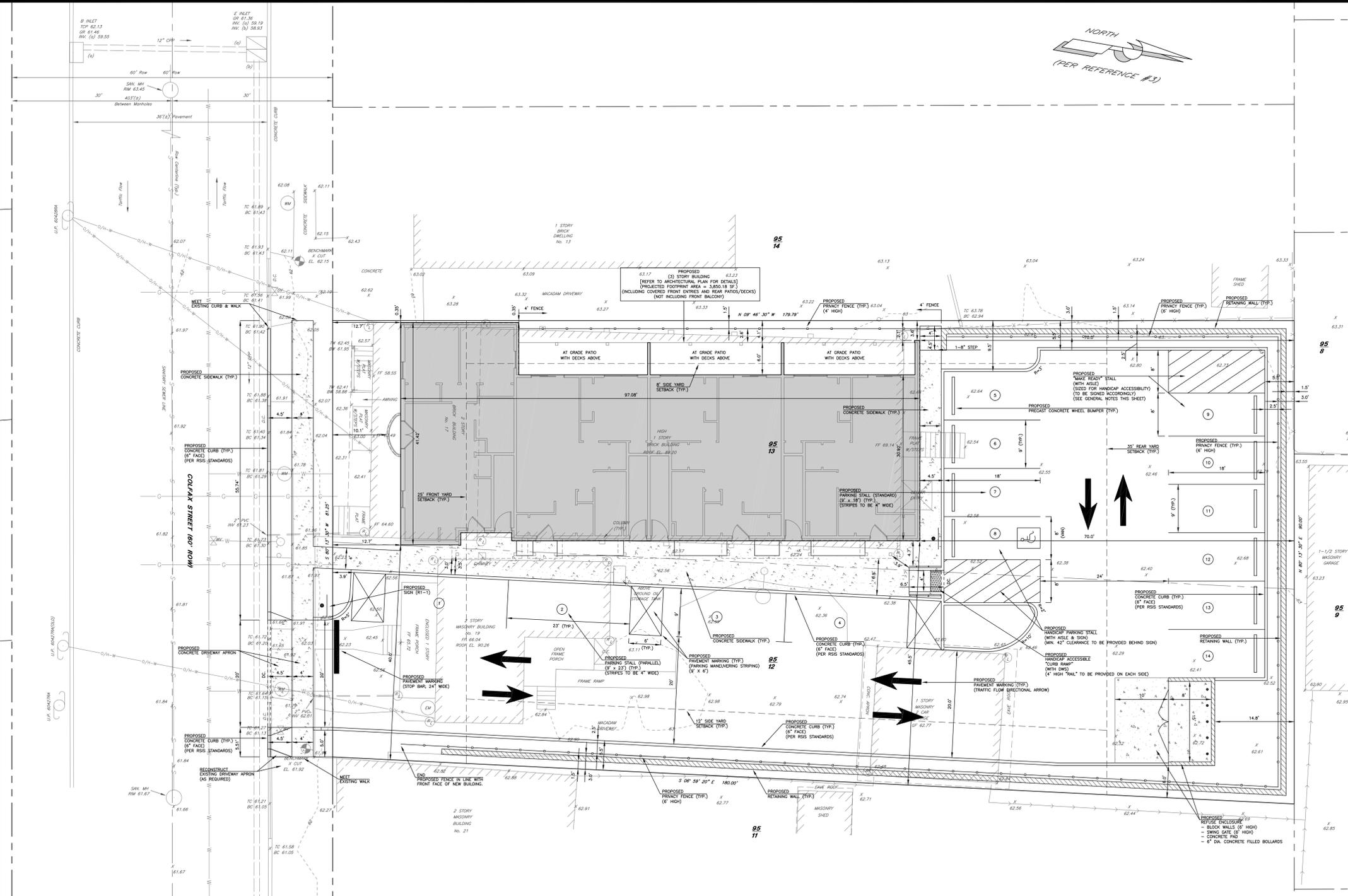
MCB ENGINEERING ASSOCIATES, L.L.C.
P.O. BOX 588, 11 FURLER STREET
TOTOWA, NEW JERSEY 07511-0588
PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681
Email: mcbes@mcbeo.com - Certificate of Authorization No. 24Q28108309

02/08/2023



THESE PLANS ARE FOR GOVERNMENT AGENCY REVIEW, AND SHOULD NOT BE USED FOR BIDDING OR CONSTRUCTION UNTIL FULLY COORDINATED WITH THE OTHER CONSTRUCTION TRADES AND A REVISION BOX NOTE IS ADDED STATING "ISSUED FOR BIDS" AND / OR "ISSUED FOR CONSTRUCTION"

DATE		REVISIONS
drawn by	checked by	TITLE SHEET
MC	PMcC	
MATTHEW G. CLARK		17-19 COLFAX STREET BLOCK 95 - LOTS 12 & 13 BOROUGH OF RARITAN SOMERSET COUNTY, NEW JERSEY
 N.J. PROFESSIONAL ENGINEER LICENSE No. 40394		
AS NOTED	02/08/2023	4273
sheet no.	1 OF 9	



ZONING SCHEDULE OF REGULATIONS

PER 207-104 (R-4 ZONE STANDARDS)	REQUIRED ①	PROPOSED APPLICATION	EXIST LOT 12	EXIST LOT 13
MINIMUM LOT AREA (SF.)	7,500	15,394.00	7,191.00	8,203.00
MINIMUM LOT WIDTH (FT.)	75	82.47	40.0	42.47
PRINCIPAL BUILDING MINIMUM FRONT YARD (FT.)	25	10.1 (**) / 12.7 (**)	12.9	6.8
PRINCIPAL BUILDING MINIMUM REAR YARD (FT.)	35	70.0	127.7	72.9
PRINCIPAL BUILDING MINIMUM SIDE YARD (ONE) (FT.)	8	0.35 (**)	1.1	0.27
PRINCIPAL BUILDING MINIMUM SIDE YARD (BOTH) (FT.)	20	40.35	8.4	1.47
ACCESSORY BUILDING MINIMUM FRONT YARD (FT.)	25	NA	100.4	NA
ACCESSORY BUILDING MINIMUM REAR YARD (FT.)	5	NA	54.0	NA
ACCESSORY BUILDING MINIMUM SIDE YARD (FT.)	5	NA	1.2	NA
MAXIMUM BUILDING HEIGHT PRINCIPAL BUILDING (STORIES)	2.5	3 (**)	2	2
MAXIMUM BUILDING HEIGHT PRINCIPAL BUILDING (FT.)	35	31.75	25(8)	26.7(8)
MAXIMUM TOTAL IMPERVIOUS LOT COVERAGE (%)	30	82.9 (**)	49.5	54.7
MINIMUM NET FLOOR AREA PER DWELLING UNIT (SF.)	1,000	770 (**) / 700 (**)	1,300(4)	800(4)

(*) EXISTING NONCONFORMITY (**) VARIANCE REQUESTED FOR A PROPOSED CONDITION

- NOTES:**
- BASED ON SECTION 207-104 "SCHEDULE OF BULK REQUIREMENTS" OF THE BOROUGH OF RARITAN CHAPTER 207 LAND USE AND DEVELOPMENT CODE.
 - MEASURED AT THE REQUIRED FRONT YARD SETBACK.
 - TO BALCONY / TO PRINCIPAL WALL.
 - BUILDING HEIGHT BASED ON SECTION 207-7 OF THE BOROUGH OF RARITAN CHAPTER 207 LAND USE AND DEVELOPMENT CODE.
 THE VERTICAL DISTANCE MEASURED FROM THE MEAN ELEVATION OF THE FINISHED GRADE ALONG THE FRONT OF THE BUILDING TO THE MEAN HEIGHT BETWEEN THE EAVES AND THE RIDGE LEVEL FOR GABLE, HIP, AND GAMBEL ROOFS
 MEAN ELEVATION OF THE FINISHED GRADE ALONG THE FRONT OF THE BUILDING = 63.00
 DISTANCE FROM FIRST FLOOR TO THE MEAN HEIGHT BETWEEN THE EAVES AND THE RIDGE LEVEL = 30'-11" (30.92') (PER ARCHITECT)
 FF = 63.83
 ELEVATION AT MEAN HEIGHT BETWEEN THE EAVES AND THE RIDGE LEVEL = (63.83 + 30.92) = 94.75
 HEIGHT = (94.75 - 63.00) = 31.75'
 - UNIT 1 / UNITS 2, 3, & 4.

OFF-STREET PARKING COMPUTATIONS

MINIMUM REQUIRED STALLS PER CODE (RIS)
 PER NJAC 5:21-4.14 (b) "MID-RISE" (GARDEN APARTMENT VALUES APPLY)
 1 BEDROOM UNITS (AND STUDIOS) = 1.8 STALLS PER DWELLING UNIT
 2 BEDROOM UNITS = 2.0 STALLS PER DWELLING UNIT
 MINIMUM NUMBER REQUIRED
 3 = 1 BEDROOM & STUDIO UNITS = (3 UNITS) X (1.8 SPACES / UNIT) = 5.4 SPACES
 5 = 2 BEDROOM UNITS = (5 UNITS) X (2.0 SPACES / UNIT) = 10.0 SPACES
TOTAL REQUIRED = (5.4 + 10.0) = 15.4 = 15 STALLS

ELECTRIC VEHICLE PARKING AND CHARGING STATIONS
 MINIMUM REQUIRED "MAKE READY" STALLS (PER N.J. STATE REQUIREMENTS)
 15% OF THE REQUIRED OFF-STREET PARKING STALLS
 MINIMUM NUMBER REQUIRED
 (0.15 X 15 STALLS) = 2.25 = 3 STALLS
 "MAKE READY" STALL CREDIT
 BASED ON EACH "MAKE READY" STALL COUNTING AS 2 STALLS
 CREDIT = (3 MAKE READY STALLS PROPOSED) = 3 STALLS
 BASED ON CREDIT "UP TO 10% OF THE TOTAL REQUIRED PARKING"
 CREDIT = (0.10 X 15 STALLS) = 1.5 = 1 STALL [GOVERNS]

REQUIRED PARKING INCLUDING "MAKE READY" STALL CREDIT
 MINIMUM REQUIRED INCLUDING "MAKE READY" STALL CREDIT = (15 - 1) = 14 STALLS

PROVIDED
 TOTAL = 14 STALLS (INCLUDING 1 ADA STALL)

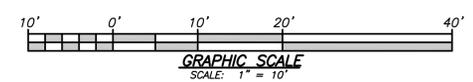
IMPERVIOUS AREA SUMMARY
 EXISTING IMPERVIOUS AREA = 8,042 SF.
 PROPOSED IMPERVIOUS AREA = 12,756 SF.
 DIFFERENCE IN IMPERVIOUS AREA = [12,756 SF. - 8,042 SF.] = + 4,714 SF. [0.108 AC.]

GENERAL NOTES

- ALL PROPOSED HANDICAP ACCESSIBLE CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY BARRIER FREE SUBCODE NJAC 5:23-7, CHAPTER 11 OF THE NEW JERSEY IBC 2015 AND AMERICAN WITH DISABILITIES ACT.
- ALL REGULATORY, DIRECTIONAL, WARNING & TRAFFIC CONTROL SIGNS, STRIPING AND PAVEMENT MARKINGS SHALL BE FABRICATED & CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT ADDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE PROJECT OWNER SHALL BE RESPONSIBLE TO SCHEDULE ALL DELIVERIES AND GARBAGE PICK-UPS SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROPERTY.
- REFER TO THE PROJECT TITLE SHEET FOR SURROUNDING ZONE AND BLOCK & LOTS DESIGNATIONS.
- ALL REFUSE & RECYCLING SHALL BE STORED WITHIN THE PROPOSED REFUSE ENCLOSURE..
- NO DEDICATED LOADING STALL IS PROPOSED AS PART OF THIS APPLICATION.
- NO BUILDING OR FREESTANDING SIGNS ARE PROPOSED AS PART OF THIS APPLICATION.
- ADDITIONAL "MAKE READY" STALLS TO BE PROVIDED ONSITE TO MEET MINIMUM REQUIREMENT. PROJECT OWNER TO PROVIDE LOCATIONS OF SUCH ONCE DETERMINED VIA SEPARATE MAP.
- FENCING SHALL BE ERECTED IN A MANNER SO AS TO PERMIT THE FLOW OF NATURAL DRAINAGE AND SHALL NOT CAUSE SURFACE WATER TO BE BLOCKED OR DAMMED SO AS TO CREATE PONDING.

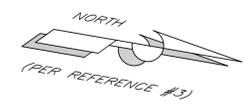
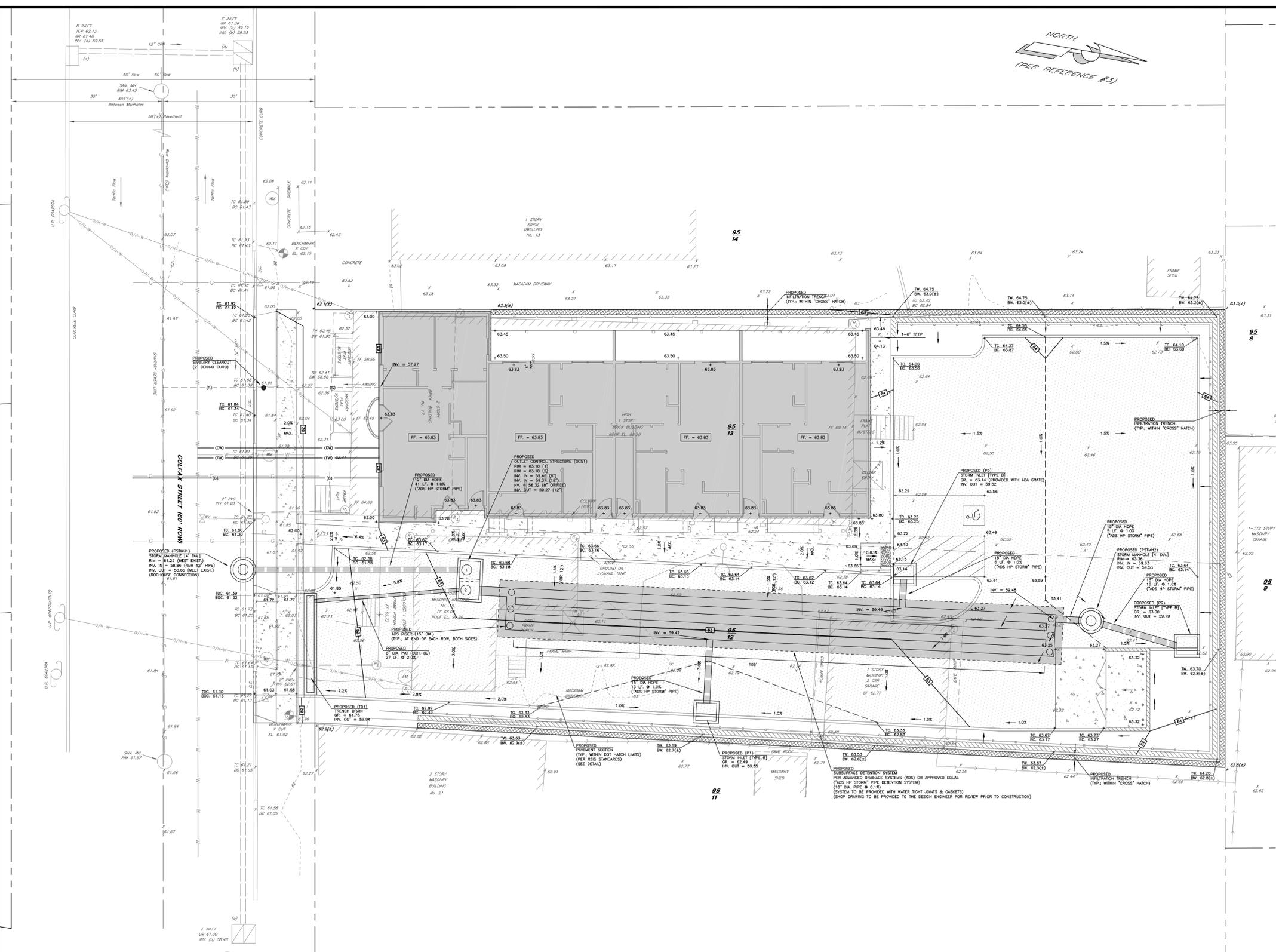


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drawn by **MC** checked by **PMCC**
MATTHEW G. CLARK
 N.J. PROFESSIONAL ENGINEER
 LICENSE No. 40394

DATE	REVISIONS
SITE PLAN	
17-19 COLFAX STREET	
BLOCK 95 - LOTS 12 & 13	
BOROUGH OF RARITAN SOMERSET COUNTY, NEW JERSEY	
 MCBEA ENGINEERING ASSOCIATES, LLC P.O. BOX 588, 11 FURLER STREET TOTOWA, NEW JERSEY 07511-0588 PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681 Certificate of Authorization No.: 240A28108300 Email: mcbea@mcbea.com	
scale 1" = 10'	date 02/08/2023
project no. 4273	sheet no. 2 OF 9



GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THE LOCATION (HORIZONTAL & VERTICAL) OF ANY UTILITY (ABOVE OR BELOW GRADE) WITHIN THE PROJECT LIMITS AND ITS VICINITY (INCLUDING WITHIN THE ROW FOR ALL PROJECT FRONTAGES) PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY CONFLICTS WITH THE PROPOSED CONSTRUCTION. TEST PITS SHALL BE PERFORMED AS NECESSARY.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH ALL REQUIRED UTILITY COMPANIES PRIOR TO CONSTRUCTION.
3. ALL EXISTING VALVES, CLEANOUTS AND SIMILAR ITEMS TO REMAIN LOCATED WITHIN THE LIMITS OF THE PROPOSED CONSTRUCTION ARE TO BE RESET IN THE FIELD BY THE CONTRACTOR TO MEET FINISHED GRADE.
4. THE PROPOSED CURB AT THE BASE OF ALL HANDICAP CURB RAMPS SHALL BE SET FLUSH WITH THE ABUTTING PAVEMENT SURFACE.
5. THE MAXIMUM CROSS SLOPE FOR ALL WALKS & HANDICAP ACCESSIBLE PATHS IS TO BE 2.0%.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO GRADE THE SITE IN SUCH A MANNER TO (1) INSURE THAT SURFACE WATER RUNOFF DOES NOT ADVERSELY IMPACT THE ADJACENT PROPERTIES AND (2) DIRECT STORM WATER RUNOFF AWAY FROM THE PROPOSED BUILDING.
7. ALL EXISTING UTILITIES THAT ARE TO BE REMOVED OR ABANDONED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY REGULATIONS.
8. PRIOR TO CONSTRUCTION A REFERENCE BENCH MARK SHALL BE PROVIDED ONSITE BY A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF NEW JERSEY.
9. THE WATER, GAS AND SANITARY SERVICE LATERALS ARE SHOWN FOR FEASIBILITY PURPOSES ONLY. THEIR FINAL DESIGN SHALL BE BASED ON THE BUILDING CONSTRUCTION PLANS.
10. THE ROOF DRAINAGE SYSTEM OF THE NEW BUILDING IS TO CONNECT INTO THE ONSITE STORMWATER MANAGEMENT SYSTEM "UPSTREAM" OF THE PROPOSED OUTLET CONTROL STRUCTURE.
11. THE PROJECT OWNER PRIOR TO CONSTRUCTION SHALL CONFIRM THAT ALL EXISTING UTILITY SYSTEMS (I.E. WATER, GAS, ELECTRIC & SANITARY) HAVE SUFFICIENT CAPACITY TO HANDLE THE PROPOSED DEMANDS OF THE PROJECT.
12. THE PROJECT OWNER SHALL BE RESPONSIBLE TO MAINTAIN ALL ONSITE UTILITIES AT ALL TIMES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO DISPOSE OF ALL EXCAVATED MATERIAL IN ACCORDANCE WITH LAW AND ALL APPLICABLE LOCAL ORDINANCES.
14. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE SCHEDULING AND ROUTE OF THE TRUCKING OF THE EXCAVATED MATERIAL FROM THE SITE WITH THE MUNICIPAL POLICE DEPARTMENT AND THE MUNICIPAL ENGINEERS.
15. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE HOURS OF OPERATION OF SOIL MOVING WITH THE MUNICIPAL POLICE DEPARTMENT & BUILDING DEPARTMENT AND MUNICIPAL ENGINEER.
16. THE PROJECT OWNER SHALL ARRANGE FOR CONSTRUCTION INSPECTION SERVICES SO THAT CONSTRUCTION COMPLIANCE CERTIFICATIONS CAN BE ACCOMPLISHED IF / WHEN REQUIRED FOR WATER & SEWER SYSTEMS AND RETAINING WALLS.
17. ALL PROPOSED STORM & SANITARY PIPE BEDDING & BACKFILL TO BE PROVIDED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR PIPE DEPTH & MATERIAL.
18. PRIOR TO CONSTRUCTION THE PROJECT OWNER OR CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND SUBMIT TO THE MUNICIPALITY, FOR APPROVAL, WALL STABILITY AND STRUCTURAL CALCULATIONS SIGNED & SEALED BY A NEW JERSEY PROFESSIONAL ENGINEER FOR THE PROPOSED DESIGN & CONSTRUCTION OF ANY PROPOSED RETAINING WALLS.

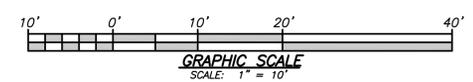
UTILITY LEGEND

- (FW) — FIRE WATER SERVICE LATERAL
- (DW) — DOMESTIC WATER SERVICE LATERAL
- (G) — GAS SERVICE LATERAL
- (S) — SANITARY SERVICE LATERAL

NOTE:
UNLESS OTHERWISE APPROVED BY THE MUNICIPALITY AND GOVERNING UTILITY AGENCY THE ELECTRIC SERVICE IS TO BE PROVIDED UNDERGROUND. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE SUCH PRIOR TO CONSTRUCTION.



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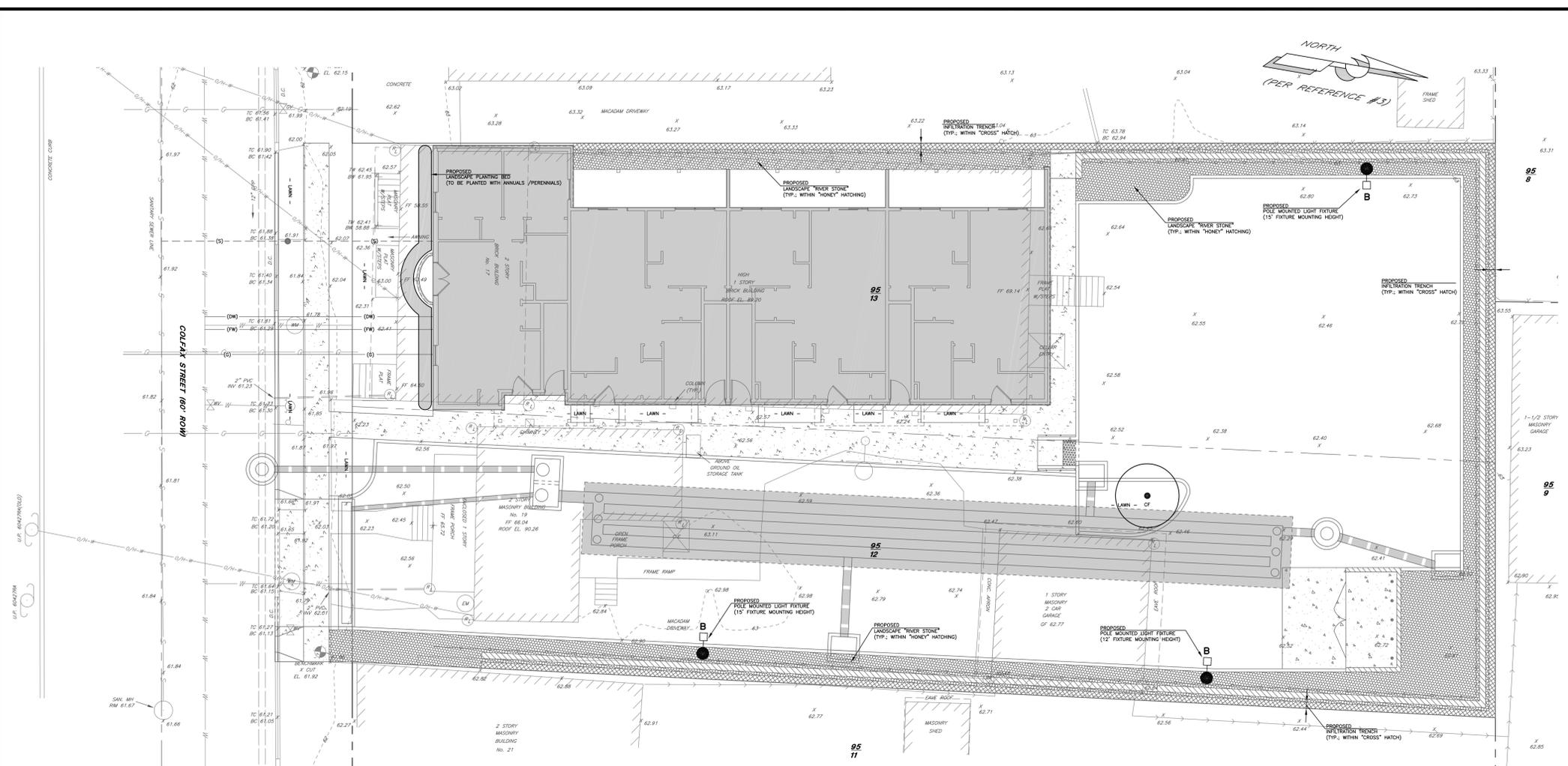
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MATTHEW G. CLARK
N.J. PROFESSIONAL ENGINEER
LICENSE No. 40394

DATE	REVISIONS

GRADING & UTILITY PLAN
17-19 COLFAX STREET
BLOCK 95 - LOTS 12 & 13
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY



scale 1" = 10'	date 02/08/2023	project no. 4273	sheet no. 3 OF 9
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LIGHTING AND LANDSCAPING PLAN
SCALE: 1" = 10'

PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
ORNAMENTAL TREES					
CF	1	CORNUS FLORIDA RUBRUM	PINK FLOWERING DOGWOOD	5'-6"	B+B

CALCULATION SUMMARY

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Summary	x	2.9 fc	12.5 fc	0.2 fc	62.5:1	14.5:1
Property Line	*	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Spill Light Summary	+	0.9 fc	12.5 fc	0.0 fc	N/A	N/A

ACUITY BRANDS LIGHTING, INC.
CONTACT / DESIGNER: KEN SADOWSKI
PHONE: 973-527-5150
EMAIL: KEN.SADOWSKI@ACUITYBRANDS.COM

LUMINAIRE SCHEDULE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Distribution
□	B	3	American Electric Lighting	ATEM P10 XXXXX R3 4K/5K HSS	ATEM, Performance Package P10, Type 3, 4000K/5000K CCT, House Side Shield	1	10648	0.9	81	TYPE IV, SHORT, BUG RATING: B1 - UD - G3

LANDSCAPE PLANTING NOTES

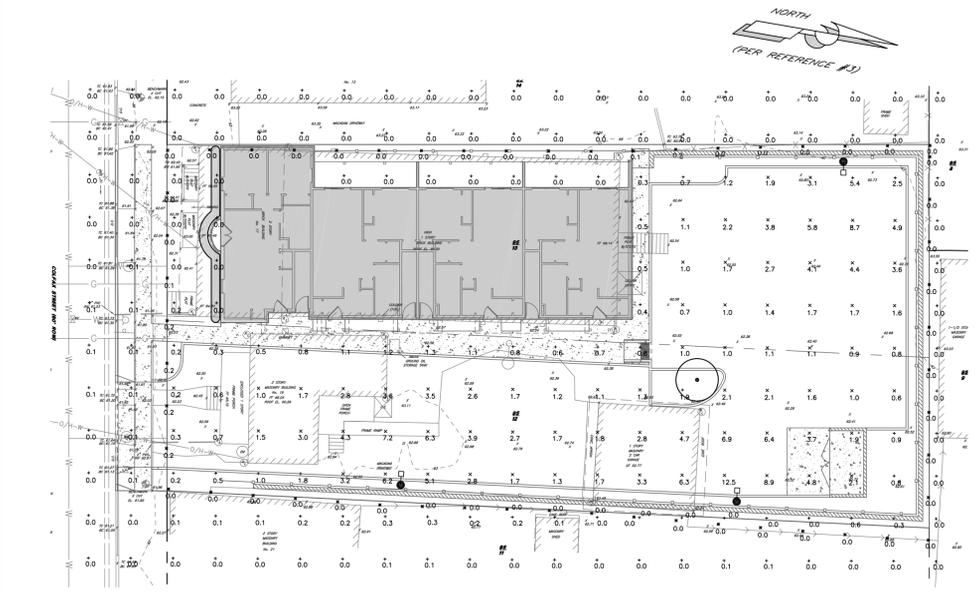
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
2. USE EXTREME CAUTION TO PROTECT UNDERGROUND UTILITIES.
3. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK" LATEST REVISION.
5. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF MECHANICAL EQUIPMENT AND UTILITIES, EXISTING OR PROPOSED, IN THE AREA TO BE PLANTED AND WHERE NECESSARY, RELOCATE PLANTS AT THE DIRECTION OF THE LANDSCAPE CONSULTANT.
6. QUANTITIES GIVEN IN THE PLANT LIST ARE FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THE LIST AND SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS REQUIRED TO COMPLETE THE PLANS.
7. NO SUBSTITUTIONS OF ANY PLANT MATERIAL PERMITTED UNLESS WRITTEN APPROVAL IS RECEIVED FROM PROJECT LANDSCAPE CONSULTANT.
8. THE CONTRACTOR SHALL VERIFY ALL GRADES, DIMENSIONS AND EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE CONSULTANT.
9. LOCATIONS OF NEW PLANTS SHALL BE STAKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
10. ALL PLANTS SHALL BE SUBJECT TO THE LANDSCAPE CONSULTANT'S INSPECTION AND APPROVAL AT THE NURSERY AND AT THE SITE BEFORE PLANTING IS BEGUN.
11. ALL BEDS AND TREE SAUCERS AND OTHER AREAS NOTED SHALL RECEIVE 3 INCH MINIMUM OF SHREDED CEDAR BARK MULCH.
12. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR TWO YEARS FROM THE TIME OF PLANTING.
13. TOP SOIL MIX SHALL INCLUDE:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART SAND
 - 1 PART PEAT MOSS
 - 5 LBS SUPERPHOSPHATE PER CU. YD. OF MIX.

IRRIGATION GENERAL NOTES

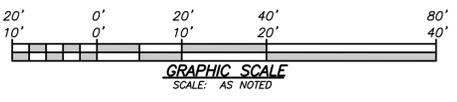
1. ALL LANDSCAPE BEDS, PLANTED AREAS AND SOO / LAWN AREAS, INCLUDING ISOLATED PARKING LOT ISLANDS, TO BE SERVICED BY AN UNDERGROUND SPRINKLER SYSTEM.
2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES AND STANDARDS. WHERE DISCREPANCIES OCCUR BETWEEN CODES, THE MORE STRINGENT SHALL APPLY.
3. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND LANDSCAPE CONSULTANT OF ANY CONFLICTS BETWEEN IRRIGATION PLAN AND ANY EXISTING OR PROPOSED SITE FEATURES.
5. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS OF IRRIGATION SYSTEM INCLUDING WIRING DIAGRAMS AND OPERATION INSTRUCTION TO THE PROJECT OWNER AT COMPLETION OF WORK.
6. WIRE SPLICE CONNECTIONS TO BE WATERPROOF.
7. WHERE PIPING CROSSES PAVED SURFACES SUCH AS SIDEWALKS, PIPING SHALL BE INSTALLED IN SLEEVES.
8. IRRIGATION SYSTEM TO INCLUDE EPA COMPLIANT "WATER SENSE" IRRIGATION CONTROLLER. SYSTEM TO INCLUDE RAIN SENSOR AND SOIL MOISTURE SENSORS. SYSTEM TO USE "CYCLE AND SOAK" METHOD.
9. IRRIGATION HEADS TO BE ADJUSTED TO AVOID OVERSPRAY ONTO HARDSCAPE ELEMENTS.
10. SYSTEM TO BE ROUTINELY INSPECTED FOR DAMAGED OR CLOGGED EQUIPMENT. SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT GROWTH OR CHANGES TO SITE FEATURES.

LIGHTING GENERAL NOTES

1. THE OWNER SHALL BE RESPONSIBLE TO COORDINATE THE SITE LIGHTING TIMING WITH THE MUNICIPALITY PRIOR TO CONSTRUCTION.
2. ALL LIGHT FIXTURES THAT BORDER ADJACENT OFF-SITE LOTS SHALL BE PROVIDED WITH SHIELDS TO MINIMIZE POTENTIAL LIGHT SPILLAGE ONTO THOSE ADJACENT PROPERTIES.



LIGHTING POINT BY POINT DETAIL
SCALE: 1" = 20'



THESE PLANS ARE FOR GOVERNMENT AGENCY REVIEW AND SHOULD NOT BE USED FOR BIDDING OR CONSTRUCTION UNTIL FULLY COORDINATED WITH THE OTHER CONSTRUCTION TRADES AND A REVISION BOX NOTE IS ADDED STATING "ISSUED FOR BIDS" AND / OR "ISSUED FOR CONSTRUCTION"

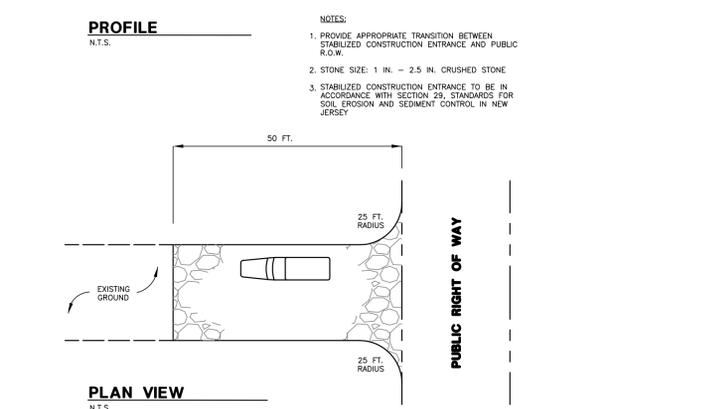
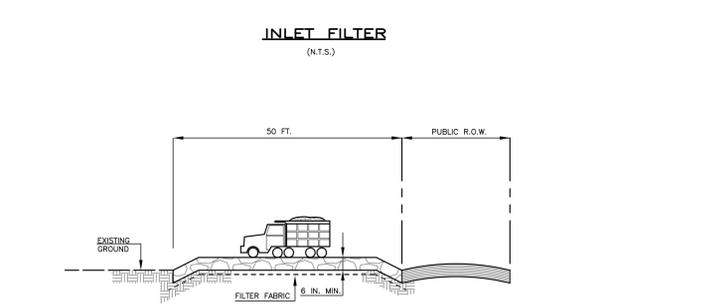
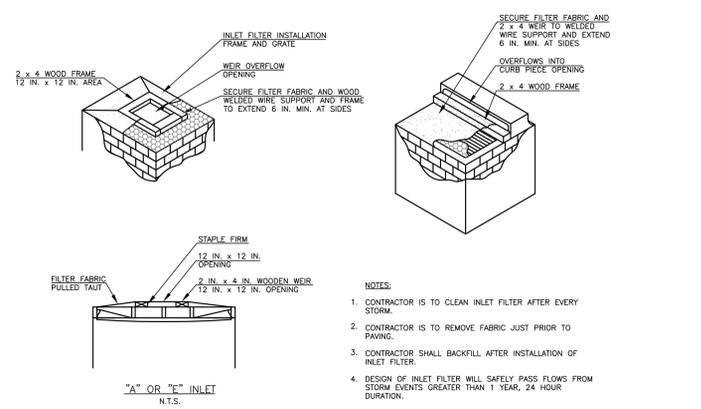
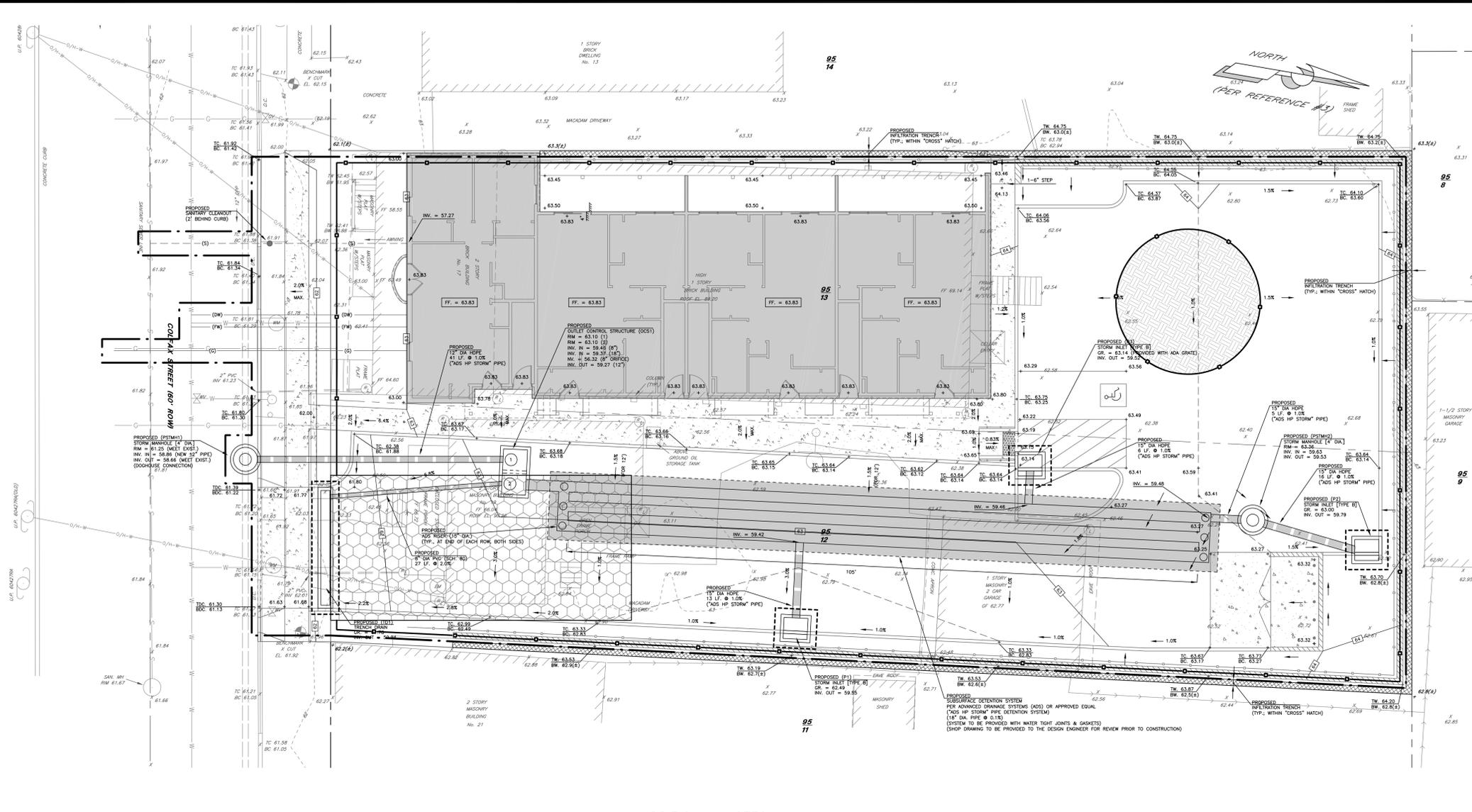
drawn by **MC** checked by **PMcC**
MATTHEW G. CLARK
N.J. PROFESSIONAL ENGINEER LICENSE No. 40394

DATE	REVISIONS

LIGHTING & LANDSCAPING PLAN
17-19 COLFAX STREET
BLOCK 95 - LOTS 12 & 13
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOTOWA, NEW JERSEY 07511-0588
PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681
Email: mcbemcbec.com
Certificate of Authorization No.: 24028108300

scale: AS NOTED date: 02/08/2023 project no: 4273 sheet no: 4 OF 9



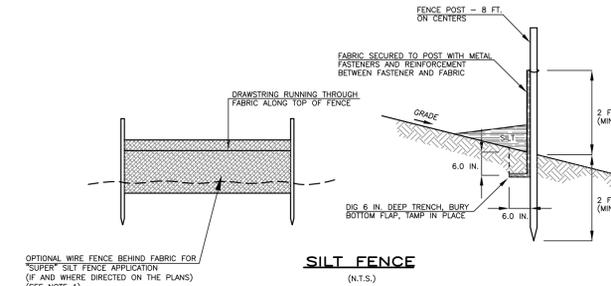
ADDITIONAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH THE CURRENT RULES AND REGULATIONS OF THE GOVERNING SOIL CONSERVATION DISTRICT AS THEY APPLY TO THE PROPOSED CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION, INCLUDING COLFAX STREET FREE OF ALL CONSTRUCTION DEBRIS INCLUDING WHEEL TRACKING OF MATERIAL FROM CONSTRUCTION VEHICLES.
3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES / PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATIONS AND INSTALLATION OF PROPOSED IMPROVEMENTS.
4. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES / PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND / OR THE AREA IS STABILIZED.
5. WHERE NECESSARY, DISTURBED AREAS SHALL BE TEMPORARILY SEEDED AND / OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER.
6. THE BASE OF ALL TEMPORARY STOCKPILES SHALL BE ENCLOSED WITH SILT FENCE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO MARK AND PROTECT ALL TREES TO REMAIN WITHIN THE VICINITY OF THE PROPOSED CONSTRUCTION PRIOR TO ANY LAND DISTURBANCE.
8. ALL TREES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE MUNICIPAL ENGINEER REGARDING TREE REPLACEMENT.
9. THE SOIL EROSION & SEDIMENT CONTROL PLAN AND ASSOCIATES NOTES & DETAILS ARE INTENDED FOR SOIL EROSION & SEDIMENT CONTROL PURPOSES AND CERTIFICATION ONLY.

SEQUENCE OF CONSTRUCTION

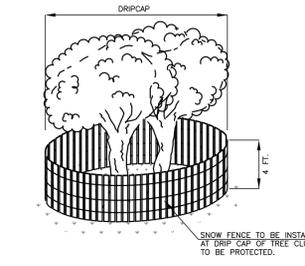
1. INSTALLATION / APPLICATION OF PROPER MEASURES FOR THE CONTROL OF SOIL EROSION AND SEDIMENT CONTROL INCLUDING THE STAKING OF SILT FENCE BARRIER WHERE SHOWN ON THE PLANS PRIOR TO ANY LAND DISTURBANCE.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT ALL POINTS WHERE CONSTRUCTION VEHICLES ACCESS PAVED ROADWAYS (INCLUDING ALL PAVED SURFACES) FROM UNPAVED AREAS OF THE SITE.
3. CLEARING SITE (INCLUDING THE DEMOLITION OF ALL STRUCTURES AND THE REMOVAL OF BITUMINOUS PAVEMENT, SIDEWALKS, CURBING, WALLS, OVERHEAD WIRING, FENCING AND TREES) AS SHOWN ON THE PROJECT DOCUMENTS PROVIDING AND INSTALLING TEMPORARY STABILIZATION MEASURES AS REQUIRED.
4. INSTALLATION OF BUILDING, UTILITY (INSTALL & MAINTAIN INLET FILTERS), STORM WATER MANAGEMENT SYSTEM, CURB, SIDEWALK, LIGHTING AND ASPHALT IMPROVEMENTS AS PER PLAN.
5. MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL.
6. FINAL GRADING OF SITE, INSTALLATION OF LANDSCAPING AND STABILIZATION OF LAWN AND BERM AREAS.
7. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4", FIRMED IN PLACE.
8. IF THE PROJECT REQUIRES SOIL COMPACTION TESTING AND / OR REMEDIAL DE-COMPACTION THEN CONDUCT SOIL COMPACTION TESTING AND REMEDIATE SUBSOIL (SCARIFICATION / TILLAGE TO A MINIMUM DEPTH OF 6") IF NECESSARY.
9. REMOVAL OF ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES UPON THE PERMANENT STABILIZATION OF ALL EXPOSED AREAS.

PER THE NJDEP GED WEB JANUARY 26, 2023 THE ENTIRE SITE IS LOCATED IN A "METROPOLITAN PLANNING AREA (MPA)". IN ADDITION, ALL DISTURBANCE IS LOCATED IN "PREVIOUSLY DEVELOPED" AREAS SUCH AS BUILDING & PARKING AREAS, PAVED DRIVEWAYS, SIDEWALKS AND LAWN. THEREFORE, THE APPLICATION IS EXCLUDED FROM SOIL COMPACTION REMEDIATION.



SILT FENCE
(N.T.S.)

NOTE:
1. "SUPER" SILT FENCE - A METAL FENCE WITH 6" OR SMALLER MESH OPENINGS AND AT LEAST 2' HIGH, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. POSTS MAY BE SPACED LESS THAN 8' ON CENTER AND MAY BE CONSTRUCTED OF HEAVY WOOD OR METAL AS NEEDED TO WITHSTAND HEAVY SEDIMENT LOADING.



TREE PROTECTION
(N.T.S.)

NOTE:
1. SNOW FENCE TO BE INSTALLED AT TOP CAP OF TREE ENCLOSURES TO BE PROTECTED.

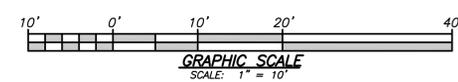


SOMERSET-UNION SOIL CONSERVATION DISTRICT
Somerset County 441 Center
308 Milltown Road • Bridgewater, NJ 08807
(908) 226-2701 Fax (908) 226-7017

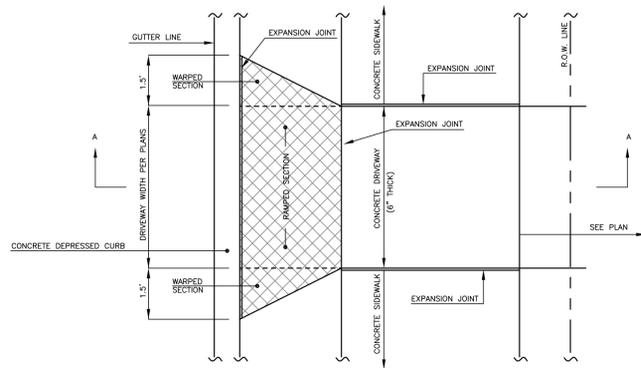
SOIL EROSION AND SEDIMENT CONTROL NOTES

1. All Soil Erosion and Sediment Control practices shall be installed prior to any major soil disturbance, or in their proper sequence and maintained until permanent protection is established.
2. Any Disturbed area that will be left exposed more than 30 Days and not subject to construction traffic, will immediately receive a temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of two (2) tons per acre, according to NJ State Standards.
3. Permanent Vegetation shall be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch will be used for protection until seeding is established.
4. All work shall be done in accordance with the NJ State Standards for Soil Erosion and Sediment Control in New Jersey, 7th Edition last revised January 2014.
5. A sub-base course will be applied immediately following rough grading and installation of improvements in order to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within 15 days or preliminary grading.
6. Immediately following initial disturbance or rough grading all critical areas subject to erosion (i.e.: steep slopes, roadway embankments) will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of two (2) tons per acre, according to the NJ State Standards.
7. Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation proceeds (i.e.: slopes greater than 3:1).
8. Traffic control Standards require the installation of a 50"x30"x6" pad of 1 1/2" or 2" stones, at all construction driveways, immediately after initial site disturbance.
9. The Somerset-Union Soil Conservation District shall be notified in writing 48 hours in advance of any lead disturbing activity.

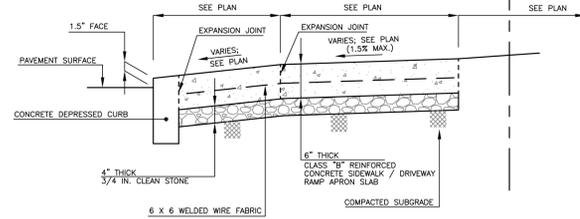
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Drawn by MC	Checked by PMCC	DATE	REVISIONS
MATTHEW G. CLARK 		SOIL EROSION & SEDIMENT CONTROL PLAN 17-19 COLFAX STREET BLOCK 95 - LOTS 12 & 13 BOROUGH OF RARITAN SOMERSET COUNTY, NEW JERSEY	
		 MCB ENGINEERING ASSOCIATES, LLC P.O. BOX 588, 11 FURLER STREET TOTOWA, NEW JERSEY 07511-0588 PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681 Email: mcbem@mcbea.com Certificate of Authorization No.: 240A28108300	
N.J. PROFESSIONAL ENGINEER LICENSE No. 40394	Scale 1" = 10'	Date 02/08/2023	Project No. 4273
		Sheet No. 5 OF 9	



PLAN VIEW



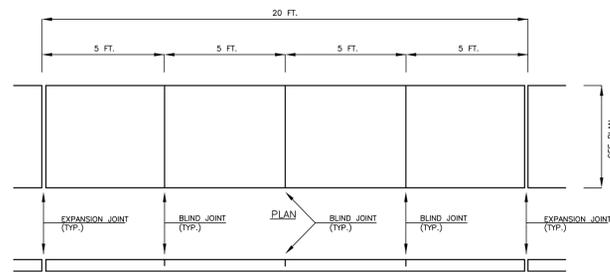
SECTION "A-A"

CONCRETE DRIVEWAY APRON DETAIL

(N.T.S.)

- NOTES:
- CONCRETE TO BE AIR-ENTRAINED, CLASS B CONCRETE, HAVING A 28-DAY VERIFICATION STRENGTH OF 4,500 P.S.I. IN ACCORDANCE WITH NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1989 AND AMENDMENTS THERETO. OTHER MATERIALS MAY BE PERMITTED BUT ARE SUBJECT TO THE APPROVAL OF THE MUNICIPAL ENGINEER.
 - SUBGRADE TO BE COMPACTED IN A MANNER ACCEPTABLE TO THE MUNICIPAL ENGINEER.
 - EXPANSION JOINTS ARE TO BE 1/2 INCHES WIDE AND FILLED WITH PREFORMED BITUMINOUS TYPE JOINT FILLER. THE TOP OF THE FILLER SHALL BE 1/4 INCHES BELOW THE TOP OF THE APRON SURFACE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN APPROVAL OF THE FINISH SCORE PATTERN OF PROPOSED DRIVEWAY APRON FROM THE MUNICIPAL AND / OR COUNTY ENGINEER REGARDING PRIOR TO CONSTRUCTION.

TO BE APPROVED BY THE MUNICIPALITY PRIOR TO CONSTRUCTION BY THE CONTRACTOR.

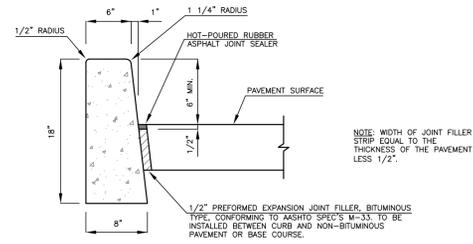


PROFILE

CONCRETE SIDEWALK DETAIL

(N.T.S.)

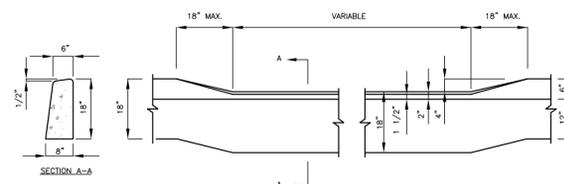
- NOTES:
- SIDEWALKS OF CONCRETE SHALL BE FOUR (4) INCHES THICK EXCEPT AT POINTS OF VEHICULAR CROSSING, WHERE THEY SHALL BE AT LEAST SIX (6) INCHES THICK. AT VEHICULAR CROSSINGS, CONCRETE SIDEWALKS SHALL BE REINFORCED WITH WELDED WIRE FABRIC MESH OR AN APPROVED EQUAL.
 - CONCRETE TO BE AIR-ENTRAINED, CLASS B CONCRETE, HAVING A 28-DAY VERIFICATION STRENGTH OF 4,500 P.S.I. OTHER MATERIALS MAY BE PERMITTED BUT ARE SUBJECT TO THE APPROVAL OF THE MUNICIPAL ENGINEER.
 - SUBGRADE TO BE COMPACTED IN A MANNER ACCEPTABLE TO THE MUNICIPAL ENGINEER.
 - EXPANSION JOINTS ARE TO BE 1/2 INCHES WIDE AND FILLED WITH PREFORMED BITUMINOUS TYPE JOINT FILLER. THE TOP OF THE FILLER SHALL BE 1/4 INCHES BELOW THE TOP OF THE SIDEWALK SURFACE. EXPANSION JOINTS SHALL BE LOCATED 20 FOOT ON CENTER.
 - BLIND JOINTS ARE TO BE SURFACE GROOVES CUT INTO THE SIDEWALK 1/2 INCH DEEP AND SHALL BE LOCATED 5 FOOT ON CENTER (BETWEEN THE LOCATION OF THE EXPANSION JOINTS AS SHOWN ABOVE).



RSIS CONCRETE CURB

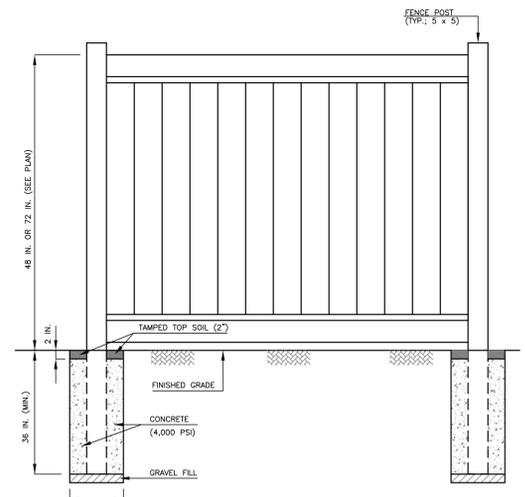
(N.T.S.)

- NOTES:
- CONCRETE TO BE NJDOT CLASS "B" (AIR ENTRAINMENT).
 - TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED, BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THE FRONT FACE AND TOP OF THE CURB.
 - DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.



RSIS CONCRETE DROP CURB (AT DRIVEWAYS)

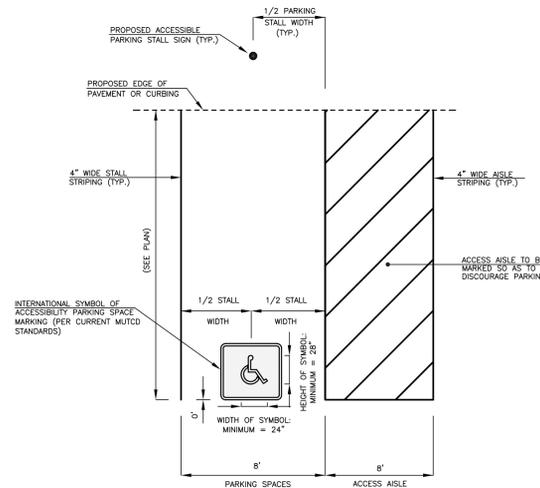
(N.T.S.)



PRIVACY FENCE DETAIL

(N.T.S.)

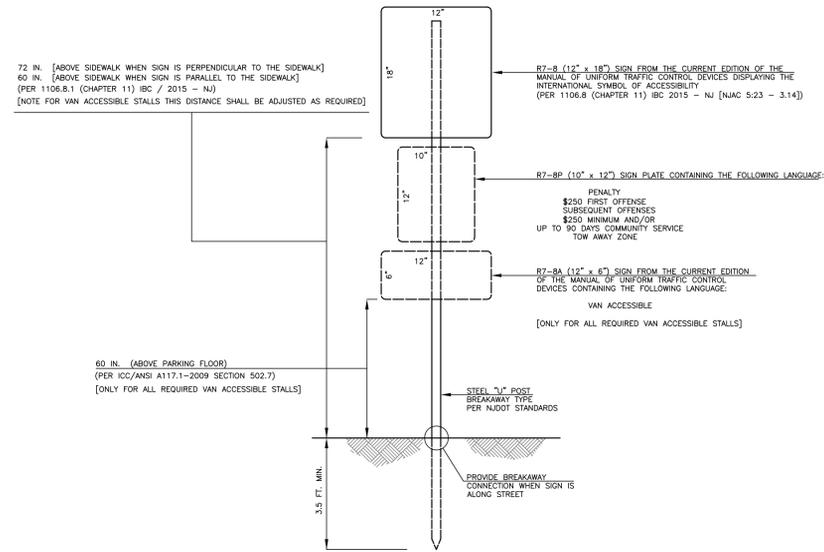
- NOTES:
- PROPOSED PRIVACY FENCE: MODEL - CHESTERFIELD 6FT. HIGH AS MANUFACTURED BY "BUFFTECH" OR APPROVED EQUAL.
 - FENCE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 - THE FENCE SHALL BE ERECTED IN A MANNER SO AS TO PERMIT THE FLOW OF NATURAL DRAINAGE AND SHALL NOT CAUSE SURFACE WATER TO BE BLOCKED OR DAMMED SO AS TO CREATE PONDING.



HANDICAP ACCESSIBLE PARKING STALL DETAIL

(N.T.S.)

- NOTES:
- THE CONTRACTOR SHALL ENSURE THAT THE MAXIMUM SLOPE IN ANY DIRECTION SHALL NOT EXCEED 2.0%.



HANDICAP ACCESSIBLE PARKING STALL SIGN DETAIL

(N.T.S.)



REGULATORY SIGN LEGEND

(N.T.S.)

drawn by MC	checked by PMcC	DATE		REVISIONS	
MATTHEW G. CLARK		SITE DETAILS			
17-19 COLFAX STREET					
BLOCK 95 - LOTS 12 & 13 BOROUGH OF RARITAN SOMERSET COUNTY, NEW JERSEY					
 MCA ENGINEERING ASSOCIATES, LLC P.O. BOX 588, 11 FURLER STREET TOTOWA, NEW JERSEY 07511-0588 PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681 Email: mcbea@mcbea.com		scale NTS	date 02/08/2023	project no. 4273	sheet no. 6 OF 9
		N.J. PROFESSIONAL ENGINEER LICENSE No. 40394			

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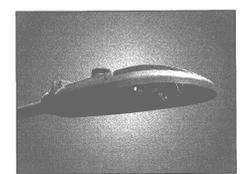


Autobahn Series ATBM Roadway

DLC **NSC/TM** **FR**

Compliant with LEED goals
4 Lower Global Warming Potential
4 Lower Pollution Potential

PRODUCT OVERVIEW



Features:

OPTICAL

Same Light Performance is comparable to 150W - 250W HPS

White Light: Correlated color temperature - 4000K, 70 CRI minimum, 3000K, 70 CRI minimum or optional 5000K, 70 CRI minimum.

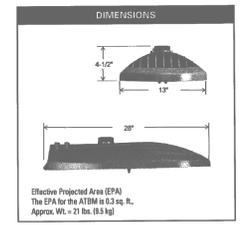
IP66 rated hermoseal glass optics ensure longevity and minimize dirt degradation. Unique IP66 rated LED light engines provide 9% uplight and restrict backlight to within sidewalk depth, providing optimal application coverage and optimal pole spacing.

Available distributions are type II, III, IV, & roadway distributions.

DualXtra™ visual comfort option is also available for all distributions.

Applications:

Residential streets
Parking lots
High-speed roadways



STANDARDS

Color temperatures of ≤ 3000K must be specified for International Dark-Sky Association certification.

Rated for -40°C to 40°C ambient

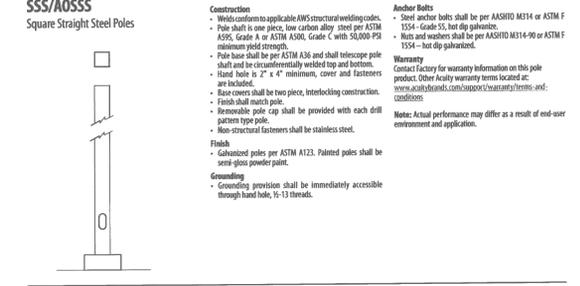
CSA certified to U.S. and Canadian standards

Complies with ANSI: C136.2, C136.10, C136.14, C136.31, C136.15, C136.37

Roadway Lighting ATBM Note: Specifications subject to change without notice. **AEL** American Electric Lighting

HOLOPHANE LEADER IN LIGHTING SOLUTIONS

SSS/AOSS Square Straight Steel Poles



DIMENSIONAL DATA

POLE TOP STYLE TENON SIZE

Pole Top Style	H	L
004	2.58	4.00
004	2.88	4.00
006	3.50	6.00
006	4.00	6.00
PKR	PLAIN TOP, NO TENON	

POLE TOP STYLE DRILL PATTERN ORIENTATION

Pole Top Style	Orientation
001	11MM C
002	2 UNITS @ 180 R, D
003	3 UNITS @ 90 R, C, D
004	4 UNITS @ 90 A, R, C, D
005	2 UNITS @ 90 R, C

AcuityBrands | 1825 Columbus Rd., Greenville, OH 45723 | Phone: 866-REDUPOLAR | www.holophane.com | © 2011-2021 Acuity Brands Lighting, Inc. All rights reserved. Rev: 10/1/21 | Specifications subject to change without notice. SSS_AOSV Page 1 of 4

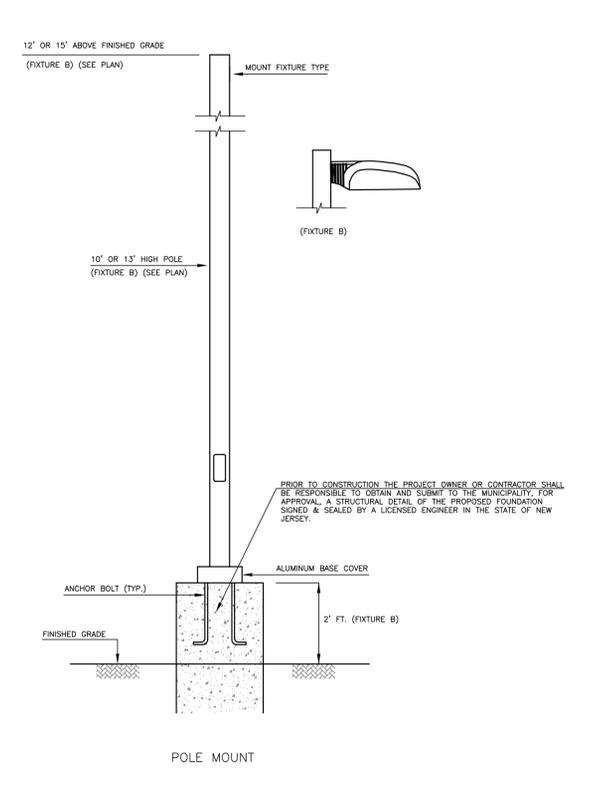
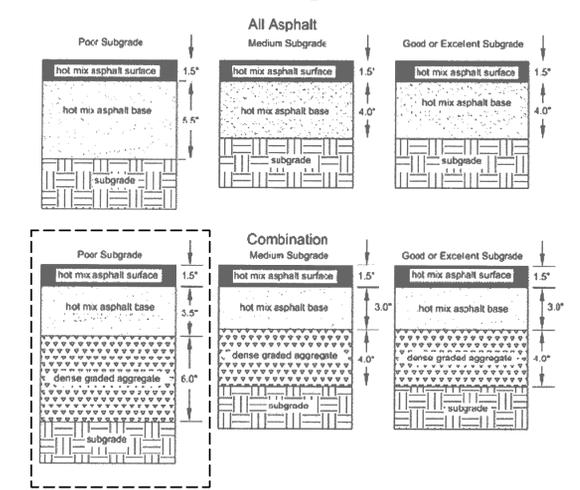


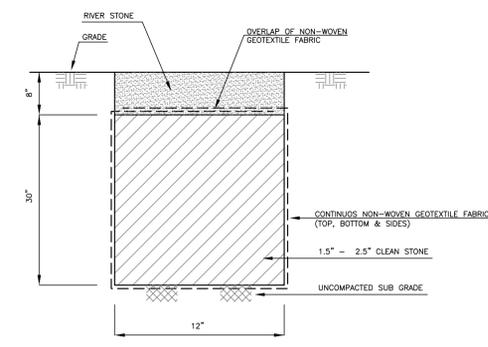
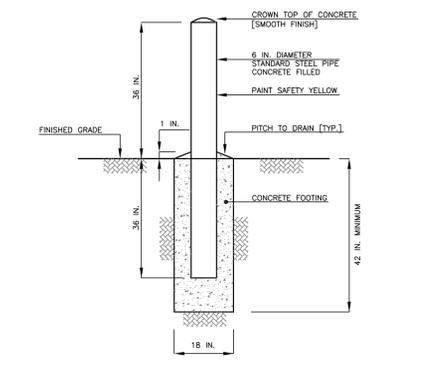
Figure 4.2
Pavement Sections for Rural Lanes, Rural Streets, C.U.-de-Sacs, and Alleys (ADT ≤ 500) (EAL ≤ 30,000)



RSIS SITE PAVEMENT SECTION
(N.T.S.)

- NOTES:**
- THIS DETAIL IS IN ACCORDANCE WITH THE RESIDENTIAL SITE IMPROVEMENT STANDARDS NEW JERSEY ADMINISTRATIVE CODE, TITLE 5, CHAPTER 21.
 - MATERIALS FOR THE HOT MIX ASPHALT (HMA) SURFACE COURSE SHALL BE HMA 9.5/6.4 OR HMA 9.5/6.4, CONFORMING TO SECTION 401 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - MATERIALS FOR THE HOT MIX ASPHALT BASE COURSE SHALL BE HMA 19/6.4 OR HMA 19/6.4, CONFORMING TO SECTION 401 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - THICKNESSES MAY HAVE TO BE CONSTRUCTED IN MULTIPLE LIFTS, BASED ON EQUIPMENT CAPABILITIES.
 - THE DENSE GRADED AGGREGATE BASE SHALL CONFORM TO SECTION 302 OF THE NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - ALL SUBGRADES SHALL BE CONSIDERED "POOR" UNLESS THE APPLICANT PROVES OTHERWISE THROUGH CBR TESTING OR FIELD EVALUATION OF SOIL CLASSIFICATION. TEST RESULTS SHALL BE REVIEWED BY THE MUNICIPAL ENGINEER.
 - SUBGRADE COMPACTION SHALL BE APPROVED BY THE MUNICIPAL ENGINEER.
 - PAVEMENT THICKNESS DESIGNS ASSUME A STAGED CONSTRUCTION PROCESS. THE LIFE OF THE ROAD IS 20 YEARS. THE PAVEMENT BASE COURSE IS DESIGNED TO WITHSTAND CONSTRUCTION TRAFFIC DURING AN ASSUMED THREE - YEAR CONSTRUCTION PERIOD, THROUGHOUT WHICH TIME THE HOT ASPHALT SURFACE COURSE HAS NOT BEEN PLACED. AT THE END OF THE CONSTRUCTION PERIOD, THE BASE COURSE MUST HAVE AN EXPECTED REMAINING LIFE OF 17 YEARS. DURING THE TIME WHEN THE SURFACE COURSE IS NOT IN PLACE, THE BASE COURSE MUST CARRY THE ENTIRE IMPOSED TRAFFIC LOADING.

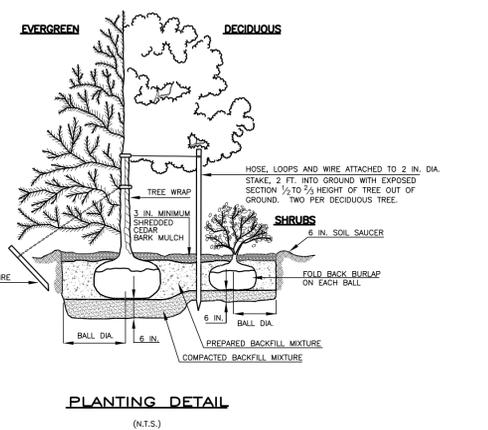
CONCRETE FILLED BOLLARD (6" DIAMETER)
(N.T.S.)



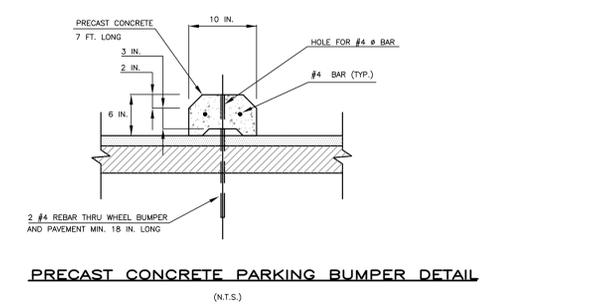
INFILTRATION TRENCH
(N.T.S.)

- NOTES:**
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO PERFORM SOIL LOGS / TESTS IN THE VICINITY OF THE OF THE INFILTRATION TRENCH TO DETERMINE THE VIABILITY OF THE DESIGN AND ABILITY OF THE SOIL TO PERCOLATE. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE MUNICIPAL ENGINEER REGARDING THE TYPE OF TESTING REQUIRED, THE AMOUNT OF TESTS TO BE PERFORMED AND THE APPROVAL OF THE TEST RESULTS.
 - THE BOTTOM OF THE INFILTRATION TRENCH SHALL BE INSTALLED A MINIMUM OF TWO (2) FEET ABOVE THE SEASONAL HIGH WATER TABLE OR BEDROCK. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IF THIS CONDITION CANNOT BE ACHIEVED BASED ON FIELD CONDITIONS.
 - THE INFILTRATION TRENCH CONSTRUCTION MUST NOT COMPACT SOILS BELOW ITS BOTTOM.
 - PROPOSED FOUNDATION / BASEMENT DRAINAGE SYSTEMS, ROOF DRAINAGE, SUMP PUMPS AND THE SITE DRAINAGE SYSTEM ARE NOT TO TIE INTO THE INFILTRATION TRENCH.
 - THE PROJECT OWNER SHALL BE RESPONSIBLE TO MAINTAIN THE INFILTRATION TRENCH AT ALL TIMES.
 - THE PROJECT OWNER SHALL BE RESPONSIBLE TO DISPOSE OF DEBRIS, TRASH, SEDIMENT AND OTHER WASTE MATERIAL AT SUITABLE DISPOSAL / RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
 - THE PROJECT OWNER SHALL BE RESPONSIBLE TO INSPECT THE INFILTRATION SYSTEM FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING ONE (1) INCH IN RAINFALL. SEDIMENT REMOVAL SHOULD TAKE PLACE WHEN THE SYSTEM IS THOROUGHLY DRY.
 - CARE SHOULD BE TAKEN DURING CONSTRUCTION TO LIMIT THE DISTURBANCE TO THE IN-SITU SOILS AS CONSTRUCTION TRAFFIC & STOCKPILING CAN COMPACT SOILS AND LIMIT THEIR INFILTRATION ABILITY.
 - THE INFILTRATION AREA SHOULD BE KEPT FREE OF CONSTRUCTION TRAFFIC & STOCKPILING AND ALL EXCAVATION SHOULD TAKE PLACE FROM THE PERIMETER OF THE SYSTEM WITH AN EXCAVATOR. IT IS RECOMMENDED THAT THE AREA BE "FENCED OFF" TO PROTECT THE AREA DURING CONSTRUCTION.
 - MEASURES SHOULD BE PROVIDED TO LIMIT SOIL EROSION AND THE POTENTIAL FOR SEDIMENT TO CLOG THE EXPOSED SUB GRADE SOILS, THAT THE COMPLETED SYSTEM BE STABILIZED AND COVERED WITH EROSION CONTROL MEASURES AS QUICKLY AS POSSIBLE TO REDUCE THE POTENTIAL FOR EROSION.
 - THE CONSTRUCTION OF THE INFILTRATION TRENCH SHOULD BE OVERSEEN BY A QUALIFIED GEOTECHNICAL ENGINEER TO DOCUMENT THE CONSTRUCTION OPERATIONS AND ENSURE THAT THE PROJECT SPECIFICATIONS & SPECIAL CONSTRUCTION REQUIREMENTS ARE MET.

SITE LIGHTING DETAILS
(N.T.S.)



PLANTING DETAIL
(N.T.S.)



PRECAST CONCRETE PARKING BUMPER DETAIL
(N.T.S.)

DATE	REVISIONS

drawn by **MC** checked by **PMcC**

MATTHEW G. CLARK

SITE DETAILS

17-19 COLFAX STREET
BLOCK 95 - LOTS 12 & 13
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

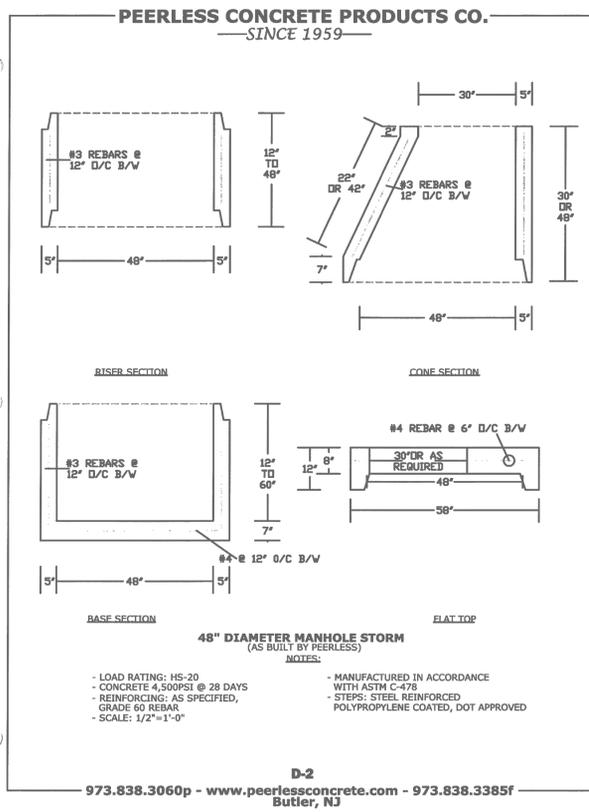
MCB ENGINEERING ASSOCIATES, LLC
P.O. BOX 588, 11 FURLER STREET
TOTOWA, NEW JERSEY 07511-0588
PHONE: (973) 812-6680 - FACSIMILE: (973) 812-6681
Email: mcb@mcbea.com
Certificate of Authorization No.: 240A28108300

N.J. PROFESSIONAL ENGINEER LICENSE No. 40394

scale **NTS** date **02/08/2023** project no. **4273** sheet no. **7 OF 9**



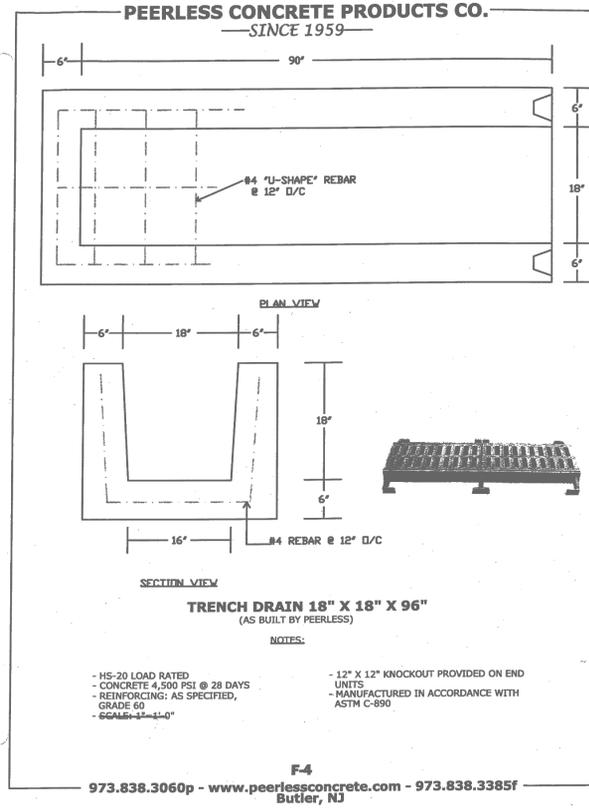
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STORM MANHOLE (4' DIAMETER)

(N.T.S.)

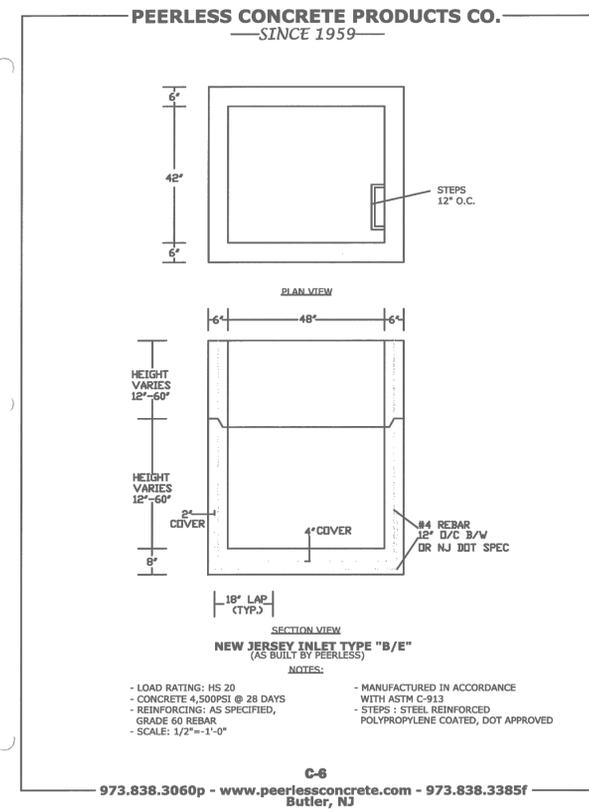
- NOTES:
 1. STORM MANHOLE FRAME & COVER TO BE CAMPBELL FOUNDRY NUMBER 1202B OR APPROVED EQUAL.
 2. STORM MANHOLE FRAME & GRATE TO BE CAMPBELL FOUNDRY NUMBER 2202A OR APPROVED EQUAL.



TRENCH DRAIN

(N.T.S.)

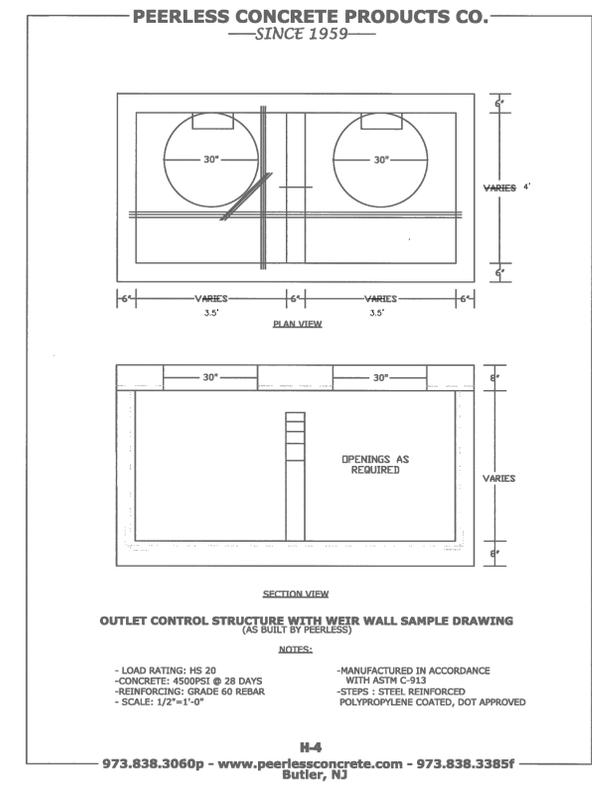
- NOTES:
 1. FRAME & GRATE TO BE CAMPBELL FOUNDRY NUMBER 4528 OR APPROVED EQUAL.



INLET TYPE "B"

(N.T.S.)

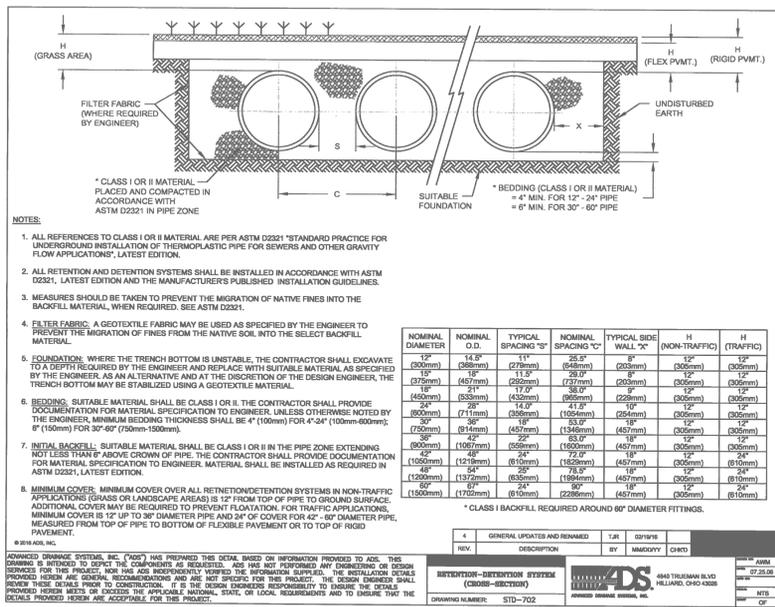
- NOTES:
 1. INLET TYPE "B" FRAME, CURB PIECE, BACK PLATE & GRATE TO BE CAMPBELL FOUNDRY NUMBER 2618 OR APPROVED EQUAL. (CAMPBELL TYPE "N" DOT CURB PIECE TO BE UTILIZED OR APPROVED EQUAL)
 TO BE MODIFIED AS NOTED ON THE PLAN FOR ADA GRATE



OUTLET CONTROL STRUCTURE

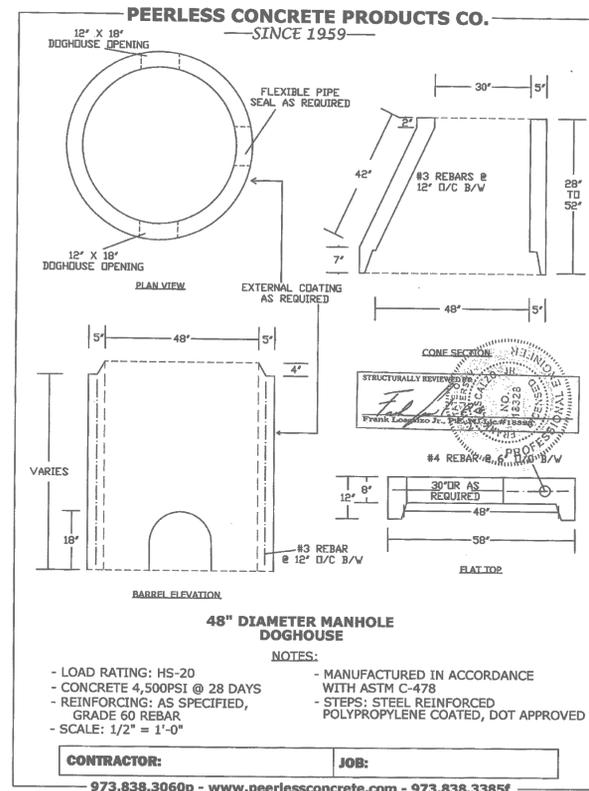
(N.T.S.)

- NOTES:
 1. OUTLET CONTROL STRUCTURE FRAME & COVER TO BE CAMPBELL FOUNDRY NUMBER 1202B OR APPROVED EQUAL.
 2. PER THE GRADING & UTILITY PLAN SHEET.
 8" DIAMETER ORIFICE AT ELEVATION = 59.32
 18" DIAMETER ADS HP STORM PIPE INVERT IN ELEVATION = 59.37
 8" DIAMETER PVC PIPE INVERT IN ELEVATION = 59.46
 12" DIAMETER HDPE (ADS HP STORM PIPE) INVERT OUT ELEVATION = 59.27
 3. TOP OF WEIR WALL ELEVATION = 60.70



SUBSURFACE DETENTION SYSTEM (CROSS SECTION)

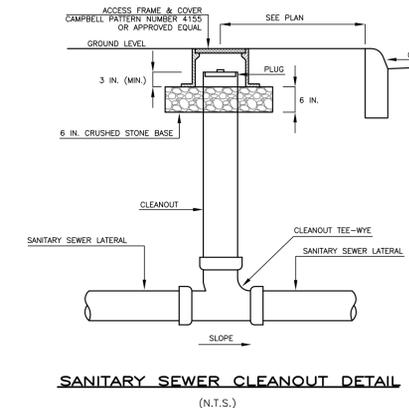
(N.T.S.)



STORM DOGHOUSE MANHOLE (4' DIAMETER)

(N.T.S.)

- NOTES:
 1. STORM DOGHOUSE MANHOLE FRAME & COVER TO BE CAMPBELL FOUNDRY NUMBER 1202B OR APPROVED EQUAL.
 2. STORM DOGHOUSE MANHOLE FRAME & GRATE TO BE CAMPBELL FOUNDRY NUMBER 2202A OR APPROVED EQUAL.



Drawn by MC checked by PMcC

MATTHEW G. CLARK

DATE	REVISIONS

SITE DETAILS

17-19 COLFAX STREET
 BLOCK 95 - LOTS 12 & 13
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

MCB ENGINEERING ASSOCIATES, LLC
 P.O. BOX 588, 11 FURLER STREET
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 sheet no.: 8 OF 9



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Target Parcel(s): Block-Lot: 95-13
COLFAX APARTMENTS LLC & HIDAYAT, K
Block-Lot: 95-12
HIDAYAT, KEVIN

43 parcels fall within 200 feet of this parcel(s).

Block-Lot: 97-4 CABRERA, NESTOR 23 CODDINGTON STREET RARITAN, NJ 08869	Block-Lot: 95-3 BARRETT, WILLIAM E & LORI A 1103 RIVER ROAD HILLSBOROUGH, NJ 08844	Block-Lot: 95-4 HOBBS, SCOTT 6 LA GRANGE ST RARITAN, NJ 08869	Block-Lot: 97-11 DORAN, VALERIE 19 CODDINGTON ST RARITAN, NJ 08869	Block-Lot: 96-9 CARRERA, JUAN & ELIENNA 7825 BLACKHILL ST WESLEY CHAPEL, FL 33545	Block-Lot: 95-4 CAMPANALE, KEVIN D. & KATHERINE M. 14 LAGRANGE STREET RARITAN, NJ 08869
Block-Lot: 96-12 QUISEP, MIGUEL 7 LINCOLN ST RARITAN NJ 08869	Block-Lot: 95-14.01 HEREDIA, BELLE DIEGO 11 COLFAX STREET RARITAN, NJ 08869	Block-Lot: 97-2 BENNEWITZ, WILLIAM P. 27 CODDINGTON ST. RARITAN, NJ 08869	Block-Lot: 97-9 DEANGELIS, JR., GLENN J. & CLAIRE E. 15 CODDINGTON STREET RARITAN, NJ 08869	Block-Lot: 96-3 RIVERA, SERGIO & BRENDA VAZQUEZ 20 COLFAX ST RARITAN NJ 08869	Block-Lot: 96-10 HIDAYAT, KEVIN 106 LIBERTY CORNER RD WARREN, NJ 07059
Block-Lot: 96-7 ZHAO, ZHENG 77 CEDAR GROVE ROAD BRANCHBURG, NJ 08876	Block-Lot: 97-12.01 SLATER, CAROL 8 LINCOLN ST RARITAN, NJ 08869	Block-Lot: 95-2.01 GROSSO, MARJORIE A 62 THOMPSON ST RARITAN NJ 08869	Block-Lot: 95-10.02 FERNANDEZ, ANTONINO Z. & ROSALINDA 29 LINCOLN ST. RARITAN, NJ 08869	Block-Lot: 96-5 HEDAYAT, KEVIN 42 THOMPSON STREET RARITAN, NJ 08869	Block-Lot: 96-9 TORMASI, ATILA I. & RUTH GABRIELA 1386 MALLARD DRIVE MARTINSVILLE, NJ 08836
Block-Lot: 96-1 TAYLER, JEAN PROPERTIES LLC P.O. BOX 325 RARITAN, NJ 08869	Block-Lot: 96-7 OBIS, MARGARET N. 12 LAGRANGE ST RARITAN, NJ 08869	Block-Lot: 95-8.01 TAYLOR, RODNEY & DANIELA 1133 VAN ARSDALE DRIVE NESHANIC STATION, NJ 08853	Block-Lot: 97-7 NEXT GENERATION PROPERTY GROUP, LLC 272 FARMER ROAD BRIDGEWATER, NJ 08807	Block-Lot: 95-10.01 ALOSI, ADAM M & ANNE M 20-22 LAGRANGE ST RARITAN, NJ 08869	Block-Lot: 95-2.02 GROSSO, MARJORIE A 62 THOMPSON ST RARITAN, NJ 08869
Block-Lot: 95-20 DENTICI, JOSEPHINE & PAOLO 378 UNION AVE BRIDGEWATER, NJ 08807	Block-Lot: 96-2 MARIANO, BERNABE NACASTRO FREIDA S 4 COLFAX ST RARITAN, NJ 08869	Block-Lot: 95-14 SHITLI, LUOMAN 25 OAKMONT AVE E BRUNSWICK, NJ 08816	Block-Lot: 95-15 SULLEY, DORIS 9 COLFAX ST RARITAN, N J 08869	Block-Lot: 95-19 PARICH, SAM 6 WESLEY RD HILLSBOROUGH, NJ 08864	Block-Lot: 97-10 WESTPAX LLC 2 KENNEDY BLVD MANKVILLE, NJ 08835
Block-Lot: 95-4 FUSCA, FRANCESCO, & C. 10 LAGRANGE STREET RARITAN, N.J. 08869	Block-Lot: 97-3 JACOBS, PATRICIA & ERIC J. 25 CODDINGTON STREET RARITAN, NJ 08869	Block-Lot: 95-16 S & T BEECHWOOD ASSOCIATES 910 MADISON AVE BRIDGEWATER, N.J. 08807	Block-Lot: 95-5 WINDREM, ALEXANDER & BARRETT 6 LAGRANGE STREET RARITAN, NJ 08869	Block-Lot: 97-9 KNOWLES, PAUL & ANGELA 139 AMBERTS MILL ROAD WESTFIELD, NJ 07090	Block-Lot: 97-12.02 AUGSZTEJN, MONIKA 5 CODDINGTON ST RARITAN, NJ 08869

PROPERTY OWNERS WITHIN 200'

(LIST DATED 02/07/2023)

DATE	REVISIONS

drawn by
MC

checked by
PMcC

MATTHEW G. CLARK

(Signature)

N.J. PROFESSIONAL ENGINEER
LICENSE No. 40394

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scale: **NTS** date: **02/08/2023** project no.: **4273** sheet no.: **9 OF 9**



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