

PRELIMINARY AND FINAL SITE PLAN FOR JANSSEN PHARMACEUTICALS, INC. BUILDING 1000 PARKING LOT AND BUILDING ADDITION IMPROVEMENTS

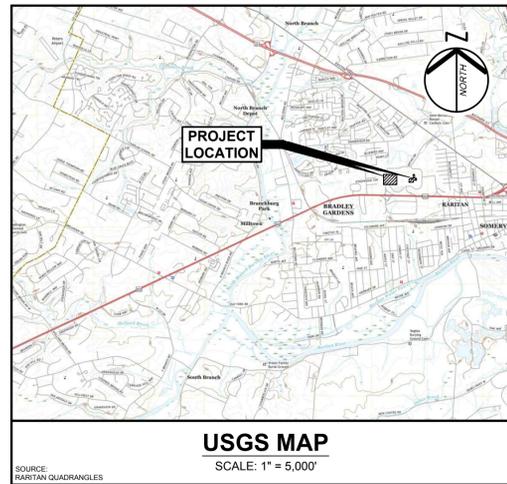
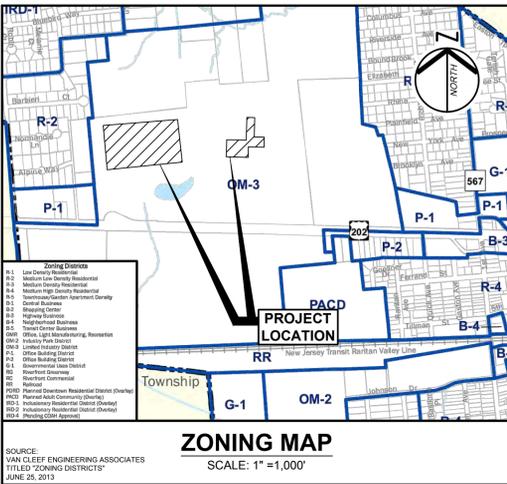
BLOCK No. 2 LOT No. 18 1000 U.S. HIGHWAY ROUTE 202 BOROUGH OF RARITAN SOMERSET COUNTY NEW JERSEY

ZONING TABLE BLOCK No. 2, LOT No. 3.01 ZONE OM-3 - LIMITED INDUSTRY DISTRICT			
CRITERIA	REQUIRED	EXISTING	PROPOSED
BULK REQUIREMENTS:			
MINIMUM LOT:			
AREA	20 AC	27.06 AC	NO CHANGE
WIDTH	500 FT	3,527.62 FT	NO CHANGE
SETBACK (PRINCIPLE):			
FRONT YARD	200 FT	476.06 FT	NO CHANGE
ONE SIDE YARD	150 FT	308.17 FT	NO CHANGE
BOTH SIDE YARDS	300 FT	1,636.98 FT	NO CHANGE
REAR YARD	100 FT	942.82 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	40%	24.65%	NO CHANGE

ZONING TABLE BLOCK No. 2, LOT No. 17 ZONE OM-3 - LIMITED INDUSTRY DISTRICT			
CRITERIA	REQUIRED	EXISTING	PROPOSED
BULK REQUIREMENTS:			
MINIMUM LOT:			
AREA	20 AC	34.80 AC	NO CHANGE
WIDTH	500 FT	3,527.62 FT	NO CHANGE
SETBACK (PRINCIPLE):			
FRONT YARD	200 FT	227.17 FT	NO CHANGE
ONE SIDE YARD	150 FT	386.41 FT	NO CHANGE
BOTH SIDE YARDS	300 FT	3,126.48 FT	NO CHANGE
REAR YARD	100 FT	1,569.22 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	40%	39.59%	NO CHANGE

ZONING TABLE BLOCK No. 2, LOT No. 18 ZONE OM-3 - LIMITED INDUSTRY DISTRICT			
CRITERIA	REQUIRED	EXISTING	PROPOSED
BULK REQUIREMENTS:			
MINIMUM LOT:			
AREA	20 AC	108.74 AC	NO CHANGE
WIDTH	500 FT	3,527.62 FT	NO CHANGE
SETBACK (PRINCIPLE):			
FRONT YARD	200 FT	476.06 FT	NO CHANGE
ONE SIDE YARD	150 FT	513.04 FT	NO CHANGE
BOTH SIDE YARDS	300 FT	1,133 FT	1125 FT
REAR YARD	100 FT	942.82 FT	NO CHANGE
MAXIMUM IMPERVIOUS COVERAGE	40%	25%	28%

USE	TOTAL GFA/OR # OF SEATS	PARKING RATIO	PARKING REQUIRED PER GFA	EXISTING PARKING	PROPOSED PARKING
BUILDING 1000					
AUDITORIUM	305	1 PER 3 SEATS	102		
CAFETERIA	13,922	1 PER 30 SF	464		
MANUFACTURING	151,860	1 PER 400 SF	380		
OFFICE	228,721	4.5 PER 1000 SF	1029		
RESEARCH (INCLUDING 1000-L ADDITION)	195,283	1 PER 500 SF	391		
RESEARCH BUILDING 1000-A	-76,225	DEMO	0		
UTILITY	25,970	1 PER 400 SF	65		
WAREHOUSE	24,900	1 PER 400 SF	62		
FITNESS CENTER	15,817	1 PER 125 SF	127		
CONFERENCE CENTER	15,930	1 PER 100 SF	159		
ATRIUM	8,265	N/A	0		
TOTAL BUILDING 1000	680,973				354
BUILDING 930					
CAFETERIA	2,000	1 PER 30 SF	67		
OFFICE	24,200	4.5 PER 1000 SF	109		
RESEARCH	37,000	1 PER 500 SF	74		
UTILITY	23,000	1 PER 400 SF	58		
STOR/MAIL/EQUIP/REST	13,000	4.5 PER 1000 SF	59		
TOTAL BUILDING 930	99,200				
BUILDING 920					
CAFETERIA	6,800	1 PER 30 SF	227		
OFFICE	174,390	4.5 PER 1000 SF	785		
UTILITY	20,400	1 PER 400 SF	51		
STOR/MAIL/EQUIP/REST	10,610	4.5 PER 1000 SF	48		
TOTAL BUILDING 920	212,200		1111		
BUILDING 700					
CAFETERIA	4,500	1 PER 30 SF	150		
OFFICE	76,150	4.5 PER 1000 SF	343		
UTILITY	3,100	1 PER 400 SF	8		
STOR/EQUIP/REST	8,740	4.5 PER 1000 SF	39		
TOTAL BUILDING 700	92,490		540		
FUTURE ADDITIONS					
BUILDING 1000-B					
RESEARCH	12,000	1 PER 500 SF	24		
BUILDING 920					
ASSEMBLY	3,000	1 PER 100 SF	30		
TOTAL FUTURE ADDITIONS	15,000				
TOTAL CAMPUS PARKING (EXCLUDING DAY CARE)			4,851	3,110	3,110 EXISTING 355 PROPOSED TOTAL = 4,851



DRAWING LIST			
DRAWING NO.	DESCRIPTION	DATE	LAST REVISED
C-01	COVER SHEET	06/02/2023	06/16/2023
C-02	GENERAL NOTES AND LEGEND	06/02/2023	06/16/2023
C-03	OVERALL SITEPLAN	06/02/2023	06/16/2023
C-04	PARKING LOT EXISTING CONDITIONS AND DEMOLITION PLAN	06/02/2023	06/16/2023
C-05	PARKING LOT SITE PLAN	06/02/2023	06/16/2023
C-06	PARKING LOT GRADING AND DRAINAGE PLAN	06/02/2023	06/16/2023
C-07	PARKING LOT LANDSCAPE PLAN	06/02/2023	06/16/2023
C-08	PARKING LOT LIGHTING PLAN	06/02/2023	06/16/2023
C-09	PARKING LOT SOIL EROSION AND SEDIMENT CONTROL PLAN	06/02/2023	06/16/2023
C-10	BUILDING ADDITION EXISTING CONDITIONS AND DEMOLITION PLAN	06/02/2023	06/16/2023
C-11	BUILDING ADDITION SITE PLAN	06/02/2023	06/16/2023
C-12	BUILDING ADDITION GRADING AND DRAINAGE PLAN	06/02/2023	06/16/2023
C-13	BUILDING ADDITION LANDSCAPE PLAN	06/02/2023	06/16/2023
C-14	BUILDING ADDITION LIGHTING PLAN	06/02/2023	06/16/2023
C-15	BUILDING ADDITION SOIL EROSION AND SEDIMENT CONTROL PLAN	06/02/2023	06/16/2023
C-16	SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS	06/02/2023	06/16/2023
C-17	SITE DETAILS	06/02/2023	06/16/2023
C-18	SITE DETAILS	06/02/2023	06/16/2023
C-19	STORMWATER DETAILS	06/02/2023	06/16/2023
C-20	STORMWATER DETAILS	06/02/2023	06/16/2023
C-21	LANDSCAPE NOTES AND DETAILS	06/02/2023	06/16/2023
C-22	LIGHTING NOTES AND DETAILS	06/02/2023	06/16/2023

REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT

Johnson-Johnson

PS&S PAULUS, SOKOLOWSKI AND SARTOR, LLC.

3 MOUNTAINVIEW ROAD
P.O. BOX 4039
WARREN, NJ 07059
PHONE: (732) 560-9700

CERTIFICATE OF AUTHORIZATION NO. 24GAC28032700

ADOLF MONTANA, P.E.
PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

6/19/23

PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**

BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

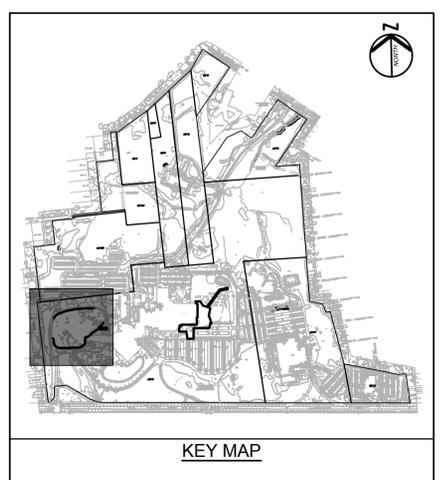
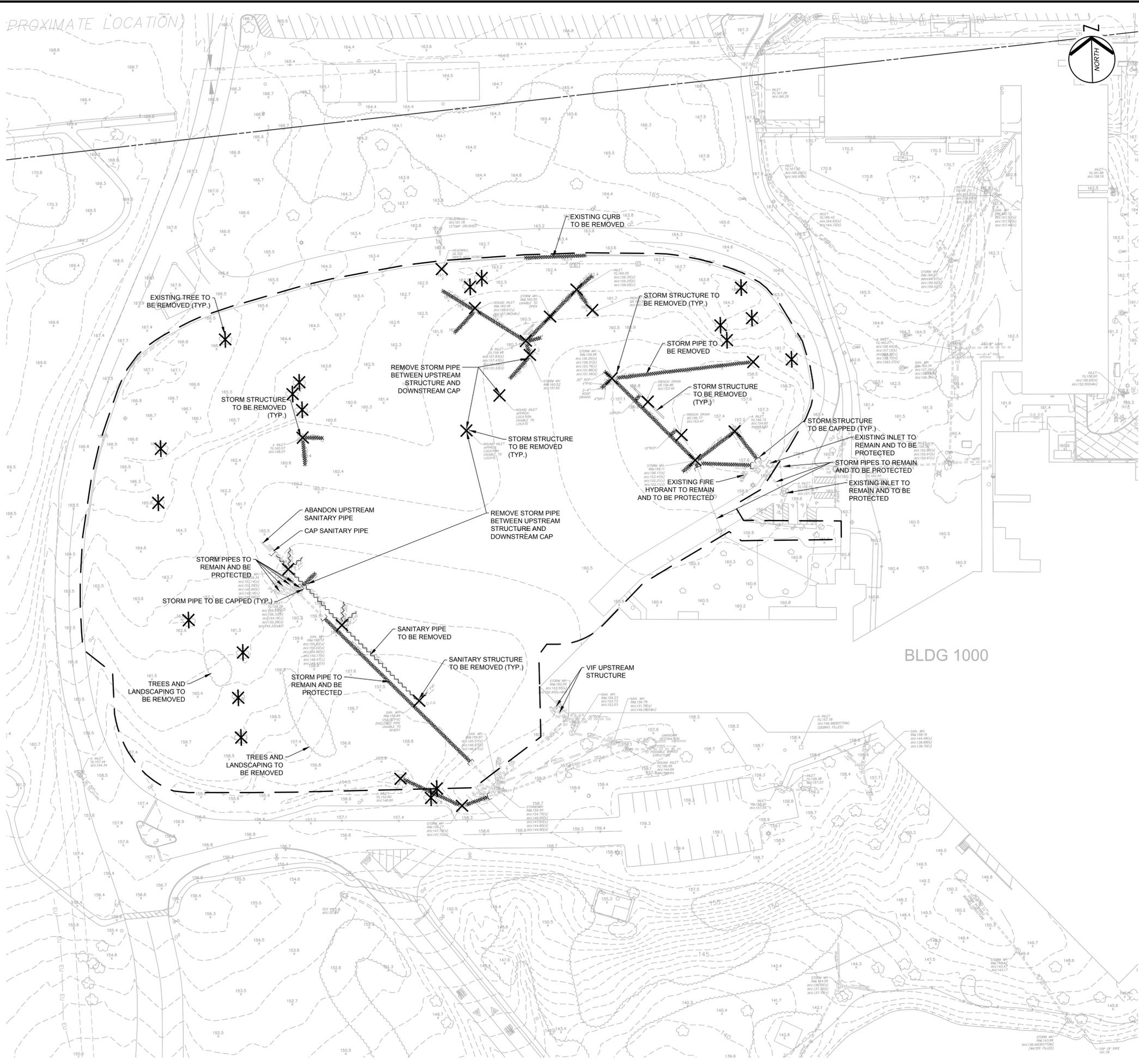
SHEET TITLE

COVER SHEET

PROJECT NO.: 05574.0003	DRAWN BY: R.E.
SCALE: AS SHOWN	CHECKED BY: A.M.
DATE: 06-02-2023	SHEET 01 OF 22
SHEET NO.	C-01

200' PROPERTY OWNERS' LIST			
BLOCK	LOT	OWNERS' NAME	ADDRESS
1	02	ZHU, CHUCK CHENG & ZHANG, HUINAN	1 BLUEBIRD WAY
3	5	KASSERMAN, WILLIAM & VICTORIA	P.O. BOX 142
2	14-09	WILSON, CARY G & KAREN M	3 DIPALO COURT
3	4	KASSERMAN, WILLIAM & VICTORIA	P.O. BOX 142
3	4-01	JOHNSON & JOHNSON	1 JOHNSON & JOHNSON PLAZA
10	10	RARITAN BOROUGH	22 FIRST STREET
6	14-01	MCDONALD, STEPHEN T & DIANE	810 RIVERSIDE AVENUE
10	3	MAORANO, ANTHONY F	817 BOUND BROOK AVENUE
4	7-04	VERMA, NILU & MANISH	15 DECCO DRIVE
20	4	RAINS, ANDREW & KRISTINA	621 RICHARD STREET
2	12	ORTHO - ATTN: TAX DEPT.	1125 TRENTON HARBOURTON ROAD
3	12	OFFER, DONNA MARIE A	915 ROUTE 202
1	02	BELLINGER, MICHAEL F & DIANE	5 BLUEBIRD WAY
2	31	STRAUSS, R & WALTER ROBSKI	56 VONES LANE
14	4	ANASTASIO, MICHAEL J & AMY L	815 RHINE BLVD.
4	18	BALL, ANDREA L	816 COLUMBUS AVENUE
32	1	MASLER, ANNAMARIE	811 ROUTE 202 NORTH
6	3	CONFALONE, DONATO & MARIA	813 COLUMBUS AVENUE
8	9-01	BOWER, E. TURRY, G S & TURRY, EDITH	822 BOUND BROOK AVENUE
4	17	SHU, HAOFENG & HU, XIAOYAN	812 COLUMBUS AVENUE
2	14-10	THOMAS, VIJAY A & BINCY	1 DIPALO COURT
32	6	KASSERMAN, WILLIAM & VICTORIA	P.O. BOX 142
2	28-02	COSTANZO, NEIL G & MARGARET A	14 BARBIERI COURT
1	02	SAXENA, SHILPI & SHAILESH	61 VONES LANE
2	14-06	SINGH, HIMMAT & MUNJAL RAJ	9 DIPALO COURT
12	1	FISCHETTI, JR., ALESSANDRO & JUNE	125 TRENTON HARBOURTON ROAD
31	10	MISURIA, RAYMOND & MICHELLE	919 ROUTE 202
16	2-01	BARBIERI, JOHN & JOSEPHINE	811 PLAINFIELD AVENUE
14	1	CARMAN, GARY R	825 RHINE BLVD
2	28-08	DUGHESNEAU, PHILIP & TERESA	821 BOUND BROOK AVENUE
10	2	VENKATRAMAN, SAIKESH & UMA	17 BARBIERI COURT
2	3-03	WILGOSKI, THOMAS & MOORE, VELLERIE	59 VONES LANE
1	02	ZOU, DAZHONG & WANG, AJUJH	199 PLAINFIELD AVENUE
14	10	OSBORN, RICHARD & DERRICK, SONDRAG	7 DIPALO COURT
2	14-07	SEKARIA, GAURAV R & PRIYANKA G	1125 TRENTON HARBOURTON ROAD
2	9	ORTHO - ATTN: TAX DEPT.	1125 TRENTON HARBOURTON ROAD
10	1	RARITAN BOROUGH	22 FIRST STREET
2	19-02	COPT, MARCEL & ELEANOR	1122 ROUTE 202 SOUTH
12	01	TH RARITAN PROPERTY, LLC	2201 MAIN STREET
2	3-02	MAJCHER, JOHN & CANDIO, VICTORIA	62 VONES LANE
2	19-03	TERRADEMESA LLC	1116 ROUTE 202 SOUTH
16	7	RIELLO, RICHARD A & ANNA M	945 RICHARD STREET
31	14-01	BRIDGE WALK, LLC	929 ROUTE 202
2	14-08	KANCHE, HEMA VARA PRASAD & MALATHI	5 DIPALO COURT
31	9	STATAKOVICH, PAUL & ANITA M	15 BARBIERI COURT
6	1-01	RARITAN BOROUGH	22 FIRST STREET
8	5	SIXT, IRENE	820 BOUND BROOK AVENUE
14	3	KARNAL, ROBERT & JOANNE	819 RHINE BLVD.
13	9	SALAMON, SUZANNE W	821 ROUTE 202
12	11	VINGARA, JOHN & LAURA	824 RHINE BLVD.
8	1-02	PHILIPS, JOHN M & DIANE M	813 RIVERSIDE AVENUE
2	28-03	CONFALONE, PHILIP A	811 COLUMBUS AVENUE
2	28-07	FREIER, DONALD K & CATHY	19 BARBIERI COURT
2	36	ZIESER, WALTER & KATHRYN	82 VONES LANE
6	2	MAZZARELLA, SHIRLEY	815 COLUMBUS AVENUE
6	01	ORTHO - ATTN: TAX DEPT.	1125 TRENTON HARBOURTON ROAD
18	2	VIOLA, JOSEPH & ANGELINA	809 NEW YORK AVENUE
18	1-01	DEQUINA, JOHN & MAY	813 NEW YORK AVENUE
8	1-03	POCHEK, ROBERT & TERESA	815 RIVERSIDE AVENUE
8	1-02	NATUK, R J & KOLVITES, K G	63 VONES LANE
12	9	MCDONALD, JOHN F	818 RHINE BLVD
2	37	CARO, LEONARD JOSEPH	78 VONES LANE
12	2	CUGLIARI, MARY T	2846 TONY'S DRIVE
1	02	KHENI, RASHMI & NILESH	7 BLUEBIRD WAY
2	29	GALLE, MARGARET	52 VONES LANE
8	8-02	LOPREIATO, FRANCESCO & CARMELA	816 BOUND BROOK AVENUE
32	2	DIGUISEPPIANTONIO, L &	909 HIGHWAY 202
32	3	ROUTE 202 PROPERTIES, LLC	907 ROUTE 202
2	28-06	JAEGLLE, WALTER & DIANE	21 BARBIERI COURT
18	8	CORTSE, DAVID & LYNN	806 BROOKLYN AVENUE
12	10	BONGIOVI, ANNA LOUISE	820 RHINE BLVD.
6	14-02	MOELLER, BRIAN T	812 RIVERSIDE AVENUE
18	8	LALOR, SEAN W & EMILY	810 BROOKLYN AVENUE
20	1-01	ZELANO, J HERMAN & BEULAH	815 BROOKLYN AVENUE
2	10	ORTHO - ATTN: TAX DEPT.	1125 TRENTON HARBOURTON ROAD
1	02	INDOTHUNUTHU, NALLASIVAN & NACHYAR	65 VONES LANE
8	1-01	BEHLING, DAVID F & MARIA POSELLA	811 RIVERSIDE AVENUE
1	02	GANAPOLSKY, ODIL S & GAYANE A	3 BLUEBIRD WAY
16	1	LOPEZ, MICHAEL & LOUISA	191 PLAINFIELD AVENUE
20	5	BOJARUNIC, LONGIN	619 RICHARDS STREET
4	7-03	GANPAT, VIJAY & SHARMELA	111 DECCO DRIVE
2	19-01	COPT, ROGER & JUDITH	1120 ROUTE 202 SOUTH
2	28-01	AVERY, LESLIE R & NORMA J	50 VONES LANE
1	02	GALA, SHAILESH & VARSHA	67 VONES LANE
2	14-11	CARMAN, GARY R	825 RHINE BLVD
31	4	ORTHO DIAGNOSTIC SYSTEMS, INC.	1001 US 202, C/O B DENORA
2	28	MURRAY, JOSEPH A JR. & SHORT, JOAN	48 VONES LANE
3	10-04	INDUKURI, VENKATA S & KALPANA	2 DIPALO COURT
20	1	SWEENEY, JOSEPH M & JOANNE	811 BROOKLYN AVENUE
14	2	KWIATEK, ROBERT A & LOUISE	823 RHINE BLVD.
4	14	NASH, BRUCE A & MONNA D	810 COLUMBUS AVENUE
4	16	SHU, HAOFENG & HU, XIAOYAN	812 COLUMBUS AVENUE
14	8	GARIS, CHRIS L A	812 NEW YORK AVENUE
14	12-01	SINHA, BIMAL & SHILA SINGHA	824 PLAINFIELD AVENUE
2	19-04	COPT, MARCEL, TRUSTEE	1122 ROUTE 202
6	11-01	ETHER, STERHANE & KOSTANZE	814 RIVERSIDE AVENUE
31	11	MASLER, RUDOLPH J & EVELYN J	817 ROUTE 202 NORTH

REFERENCE AND BASE INFORMATION NOTES	NOTES ON THE USE OF PLANS	STORMWATER POLLUTION PREVENTION PLAN (SPPP) WASTE CONTROL COMPONENT GENERAL NOTES	UTILITY INSTALLATION NOTES	STORM SEWER NOTES	REV. / ISSUE	DATE	DESCRIPTION	
<p>1. ALL PROPOSED WORK SHOWN LIES WITHIN BOROUGH OF RARITAN, SOMERSET COUNTY, NEW JERSEY.</p> <p>2. HORIZONTAL CONTROL IS BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD 1983. VERTICAL CONTROL IS BASED ON NAVD 1988.</p> <p>3. PLANIMETRIC AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AERIAL PHOTOGRAPHY SUPPLIED BY ATLANTIS AERIAL SURVEY CO., FLOWN ON JANUARY 31, 2018.</p> <p>4. DELINEATION OF STATE OPEN WATER, TOP OF BANK AND FRESHWATER WETLANDS WERE PERFORMED BY PS&S IN JANUARY AND FEBRUARY 2018 USING THE WETLANDS DELINEATION METHODOLOGY ENUMERATED IN THE JANUARY 1989 FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS (FEDERAL MANUAL), AS CURRENTLY REQUIRED BY THE NJDEP.</p> <p>5. WETLANDS AND STATE OPEN WATERS WERE LOCATED WITH A HANDHELD GPS WITH A DEGREE OF ACCURACY OF ±20 FEET AND VISUALLY USING TOPOGRAPHY AND POINTS OF REFERENCE.</p> <p>6. FOR ONSITE GEOTECHNICAL INFORMATION WITHIN THE PROPOSED PARKING LOT AREA, REFER TO PROPOSED PARKING LOT - INFILTRATION TESTING SUMMARY LETTER* PREPARED BY SESI, DATED MAY 5, 2023.</p> <p>7. EXCEPT WHERE SPECIFICALLY NOTED, EXISTING FEATURES ARE SHOWN IN HALF TONE AND PROPOSED FEATURES ARE SHOWN IN FULL TONE.</p>	<p>1. UNLESS THESE DRAWINGS ARE SPECIFICALLY DESIGNATED AS "CONSTRUCTION ISSUE," THESE DRAWINGS OR THE IMPROVEMENTS DEPICTED HEREIN SHALL NOT BE USED FOR CONSTRUCTION. CONTRACTORS SHALL NOTIFY THE DESIGN ENGINEER TO OBTAIN CONSTRUCTION DOCUMENTS.</p> <p>2. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR. NOTIFY PAULUS, SOKOLOWSKI AND SARTOR OF ANY CONFLICTS, ERRORS, AMBIGUITIES OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION.</p> <p>3. INFORMATION FOR DESIGN LAYOUT IS CONTAINED SOLELY IN THE WRITTEN DIMENSIONS, BEARINGS, AND ANGLES CONTAINED ON THE DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS.</p> <p>4. THESE CONTRACT DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT. THEY ARE NOT INTENDED FOR USE ON EXTENSIONS OF THIS PROJECT OR FOR REUSE ON ANY OTHER PROJECT. THE COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY OTHER PORTION THEREOF WITHOUT THE WRITTEN PERMISSION OF PAULUS, SOKOLOWSKI, AND SARTOR IS PROHIBITED.</p> <p>5. THIS DIMENSIONAL INFORMATION IS NOT WARRANTED NOR SHOULD IT BE CONSIDERED AS COMPLETE FOR EVERY ASPECT OF THE LAYOUT. STANDARD PRACTICE REQUIRES THAT THE LAYOUT PERSON CHECK THE DIMENSIONAL DATA CONSISTENCY AND TO MAKE SURVEY CALCULATIONS WHICH ARE CUSTOMARY FOR CONSTRUCTION LAYOUT. IN THE EVENT A QUESTION OR INCONSISTENCY IS DISCOVERED, THE USER SHOULD IMMEDIATELY NOTIFY THE ENGINEER OF RECORD.</p> <p>6. THE GRAPHICAL INFORMATION CONTAINED IN ELECTRONIC FILES IS INTENDED AS DRAWING DATA ONLY, IT IS NOT INTENDED TO SERVE AS SURVEY LAYOUT DATA.</p> <p>7. ALL SITEWORK UTILITIES TO BE INSTALLED BY SITE CONTRACTOR TO A POINT (5) FIVE FEET FROM THE BUILDING STRUCTURE IN ACCORDANCE WITH INDUSTRY STANDARDS UNLESS SPECIFICALLY SHOWN OTHERWISE. SITE CONTRACTOR TO COORDINATE WITH BUILDING TRADES CONTRACTOR TO ENSURE COORDINATION OF UTILITY CONNECTION LOCATIONS AND MATERIAL SPECIFICATIONS. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER OF RECORD.</p> <p>8. ALL DIMENSIONAL INFORMATION SHOWN HEREON INDICATING BUILDINGS IS BASED UPON FACE OF BUILDING. ALL ROADWAY DIMENSIONS ARE TO INSIDE FACE OF CURBING. ALL SIDEWALK DIMENSIONS ARE TO OUTSIDE FACE OF CURBING.</p>	<p>1. CONTRACTOR TO STORE ANY PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, CLEANING SOLVENTS AND ACIDS, DETERGENTS, CHEMICAL ADDITIVES, AND CONCRETE CURING COMPOUNDS IN SUITABLE SAFE CONTAINERS IN A DRY AND COVERED AREA. CONTRACTOR TO ADHERE TO PRODUCT MANUFACTURERS' DIRECTION REGARDING APPLICATION USES AND METHODS BEING APPLIED.</p> <p>2. CONTRACTOR SHALL CONFORM TO THE STATE SOLID WASTE MANAGEMENT ACT, N.J.S.A. 13:1E-1 ET SEQ., AND ITS IMPLEMENTING RULES AT N.J.A.C. 7:26, 7:26A, AND 7:26B; THE NEW JERSEY PESTICIDE CONTROL CODE AT N.J.A.C. 7:30; THE STATE LITTER STATUTE (N.J.S.A. 13:1E-99.3); AND OSHA REQUIREMENTS FOR SANITATION AT 29 C.F.R. 1926 FOR SITE BUILDING WASTE MATERIAL AND RUBBLE AND OTHER CONSTRUCTION SITE WASTES, INCLUDING LITTER AND HAZARDOUS AND SANITARY WASTES. CONSTRUCTION SITES SHALL HAVE ONE OR MORE DESIGNATED WASTE COLLECTION AREAS ONSITE AND AN ADEQUATE NUMBER OF CONTAINERS FOR WASTE. STAGED WASTE CONTAINERS SHALL BE MAINTAINED SO AS TO PREVENT WASTE MATERIALS FROM OVERFLOWING, LEAKING, OR BLOWING OUT OF THE CONTAINER. SPILLS, LEAKS, AND OVERFLOWS, WHICH DO OCCUR, SHALL BE CLEANUP IMMEDIATELY.</p> <p>3. RESPONSIBILITIES OF PERMITTEE OR OWNER REPRESENTATIVE:</p> <p>a. THE PERMITTEE OR CLIENT REPRESENTED SHALL CONDUCT AND DOCUMENT WEEKLY INSPECTIONS REPORTS OF THE AREAS OF INDUSTRIAL ACTIVITY OR SMALL CONSTRUCTION ACTIVITIES TO IDENTIFY AREAS CONTRIBUTING TO THE STORMWATER DISCHARGE AUTHORIZED BY THIS PERMIT AND EVALUATE WHETHER THE REGULATED ACTIVITIES IDENTIFIED UNDER THE S33 CONSTRUCTION ACTIVITY STORMWATER NARRATIVE REQUIREMENTS E.1, IS BEING PROPERLY IMPLEMENTED AND MAINTAINED, OR WHETHER ADDITIONAL MEASURES ARE NEEDED FOR THE REGULATED ACTIVITY.</p> <p>b. IN THE EVENT THAT THE INDUSTRIAL ACTIVITIES OR SMALL CONSTRUCTION ACTIVITIES ON-SITE ARE CEASED OR ARE ANTICIPATED TO CEASE FOR A PERIOD OF SIX (6) MONTHS OR GREATER THE PERMITTEE MAY SEEK A SUSPENSION OF THE ROUTINE INSPECTION REQUIREMENT OF THE PERMIT OR REDUCTION IN FREQUENCY TO MONTHLY WITH THE WRITTEN APPROVAL OF THE SOIL CONSERVATION DISTRICT OFFICE OVERSEEING THE PROJECT ON A FORM PROVIDED BY THE DEPARTMENT.</p> <p>4. CONSTRUCTION SITE WASTES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:</p> <p>a. "CONSTRUCTION AND DEMOLITION WASTE," AS DEFINED IN N.J.A.C. 7:26-1.4 AS FOLLOWS: "WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM CONSTRUCTION, REMODELING, REPAIR, AND DEMOLITION OPERATIONS ON HOUSES, COMMERCIAL BUILDINGS, PAVEMENTS AND OTHER STRUCTURES. THE FOLLOWING ARE EXAMPLES OF MATERIALS THAT MAY BE FOUND IN CONSTRUCTION AND DEMOLITION WASTE: TREATED AND UNTREATED WOOD SCRAP; TREE PARTS, TREE STUMPS AND BRUSH; CONCRETE, ASPHALT, BRICKS, BLOCKS AND OTHER MASONRY; PLASTER AND WALLBOARD; ROOFING MATERIALS; CORRUGATED CARDBOARD AND MISCELLANEOUS PAPER; FERROUS AND NON-FERROUS METAL; NON-ASBESTOS BUILDING INSULATION; PLASTIC SCRAP; DIRT; CARPETS AND PADDING; GLASS (WINDOW AND DOOR); AND OTHER MISCELLANEOUS MATERIALS; BUT SHALL NOT INCLUDE OTHER SOLID WASTE TYPES."</p> <p>• ANY WASTE BUILDING MATERIAL AND RUBBLE RESULTING FROM SUCH OPERATIONS THAT IS HAZARDOUS FOR PURPOSES OF N.J.A.C. 7:26G (THE HAZARDOUS WASTE RULES).</p> <p>• DISCARDED (INCLUDING SPILLED) PESTICIDES, FERTILIZERS, FUELS, LUBRICANTS, PETROLEUM PRODUCTS, ANTI-FREEZE, PAINTS AND PAINT THINNERS, PAINT CHIPS AND SANDBLASTING GRITS, CLEANING SOLVENTS, ACIDS FOR CLEANING MASONRY SURFACES, DETERGENTS, CHEMICAL ADDITIVES USED FOR SOIL STABILIZATION (E.G., CALCIUM CHLORIDE), AND CONCRETE CURING COMPOUNDS.</p> <p>• OTHER "LITTER," AS DEFINED AT N.J.S.A. 13:1E-215.D AS FOLLOWS: "ANY USED OR UNCONSUMED SUBSTANCE OR WASTE MATERIAL WHICH HAS BEEN DISCARDED WHETHER MADE OF ALUMINUM, GLASS, PLASTIC, RUBBER, PAPER, OR OTHER NATURAL OR SYNTHETIC MATERIAL, OR ANY COMBINATION THEREOF, INCLUDING, BUT NOT LIMITED TO, ANY BOTTLE, JAR OR CAN, OR ANY TOP, CAP OR DETACHABLE TAB OF ANY BOTTLE, JAR OR CAN, ANY UNLIT CIGARETTE, CIGAR, MATCH OR ANY FLAMING OR GLOWING MATERIAL OR ANY GARBAGE, TRASH, REFUSE, DEBRIS, RUBBISH, GRASS CLIPPINGS OR OTHER LAWN OR GARDEN WASTE, NEWSPAPERS, MAGAZINES, GLASS, METAL, PLASTIC OR PAPER CONTAINERS OR OTHER PACKAGING OR CONSTRUCTION MATERIAL, BUT DOES NOT INCLUDE THE WASTE OF THE PRIMARY PROCESSES OF MINING OR OTHER EXTRACTION PROCESSES, LOGGING, SAWMILLING, FARMING OR MANUFACTURING."</p> <p>• PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2%) PER FOOT OR NOMINALLY 2.0% IN ANY DIRECTION.</p> <p>• CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.</p> <p>• LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, POSITIVE DRAINAGE SHALL BE PROVIDED, AND CROSS SLOPE SHALL NOT EXCEED 1:50 (2%) PER FOOT OR NOMINALLY 2.0%.</p> <p>• PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 1/2" PER FOOT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (2.1% PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE, WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 (2%) PER FOOT OR NOMINALLY 2.0% FOR POSITIVE DRAINAGE.</p> <p>• DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:50 (2%) PER FOOT OR NOMINALLY 2.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE).</p> <p>2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK TO VERIFY COMPLIANCE FOR ALL ADA COMPONENTS.</p>	<p>1. ATTENTION OF THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE LOCATION OF KNOWN UTILITY STRUCTURES AND FACILITIES THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF WORK AS SHOWN ON THE PLANS IS APPROXIMATE. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE UTILITY INFORMATION, LOCATIONS AND OTHER CONSTRUCTION OBSTACLES PRIOR TO CONSTRUCTION. FURTHER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING PRIOR TO CONSTRUCTION OF ANY DISCREPANCIES WHICH MAY AFFECT PROJECT DESIGN AND/OR SCOPE. PS&S ASSUMES NO LIABILITY FOR ANY OF THE EXISTING UTILITY INFORMATION SHOWN HEREIN, EXISTING UTILITY LINE LOCATIONS ARE SHOWN FOR SCHEMATIC PURPOSES ONLY AND MAY NOT REPRESENT ALL EXISTING UTILITIES.</p> <p>2. EXISTING STREET SURFACES AND OTHER SURFACES DISTURBED BY THE CONSTRUCTION OF FACILITIES FOR THIS PROJECT SHALL BE RESTORED BY THE CONTRACTOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL ENGINEER, COUNTY ENGINEER OR NJDOT AS APPLICABLE.</p> <p>3. ADDITIONAL EASEMENTS NOT SHOWN ON THE PLANS MAY BE NECESSARY FOR THE PLACEMENT OF UTILITY STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE OF ANY REQUIRED EASEMENT. PAULUS, SOKOLOWSKI, AND SARTOR ASSUMES NO LIABILITY FOR ANY OF THE EASEMENT INFORMATION SHOWN HEREIN. EASEMENTS SHOWN ON THESE PLANS ARE FOR SCHEMATIC PURPOSES AND MAY NOT REFLECT ALL EASEMENTS. ALL EASEMENT INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR AND ALL EASEMENT LOCATIONS INDICATED IN THE FIELD BY SURVEY.</p> <p>4. ALL EXISTING UTILITY MANHOLES, RIMS, VALVE BOXES, ETC. TO BE RESET IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY COMPANY OR AUTHORITY.</p> <p>5. TRENCH DETAILS ARE INTENDED TO PROVIDE INFORMATION REGARDING BACKFILLING MATERIALS AND GENERAL MATERIAL DEPTHS AND PAYMENT LIMITS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND SHALL PROVIDE APPROPRIATE SAFETY MEASURES, SHEETING, AND BRACING AS MAY BE REQUIRED DUE TO FIELD CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OSHA STANDARDS AND DETAILS FOR TRENCH EXCAVATION. THE DESIGN ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR FIELD CONDITIONS. TRENCHING OR BACKFILLING OPERATIONS DURING CONSTRUCTION.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PRECLUDING ANY PONDING OF WATER IN ALL AREAS, EXCEPT AS SPECIFIED ON THE SOIL EROSION AND SEDIMENT CONTROL PERMIT DOCUMENTS (EG. SEDIMENT POND).</p> <p>7. ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND, EXCEPT WHERE OTHERWISE NOTED.</p> <p>8. UTILITIES LOCATED WITHIN ROADWAYS SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE ROADWAYS.</p> <p>9. ALL PROPOSED UTILITIES, PAVEMENT, AND STRUCTURES SHALL BE INSTALLED AFTER THE COMPLETION OF ALL REQUIRED GROUND IMPROVEMENTS DETERMINED TO BE ADEQUATE FOR THE INSTALLATION OF UTILITIES AND APPROVED BY THE RESIDENT GEOTECHNICAL ENGINEER.</p> <p>10. CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SURFACE AND SUBSURFACE UTILITIES DURING CONSTRUCTION OPERATION ACTIVITIES.</p> <p>11. GAS, ELECTRIC, TELEPHONE, WATER, AND CABLE TV LINES MAY BE DESIGNED AND INSTALLED BY THE RESPECTIVE UTILITY. THE EXACT LOCATION OF EACH MAIN SHALL BE COORDINATED BY THE OWNER/GENERAL CONTRACTOR AND SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW PRIOR TO INSTALLATION. FINAL DESIGN OF TELEPHONE, ELECTRIC, CABLE AND GAS UTILITIES TO BE PROVIDED BY UTILITY COMPANIES.</p>	<p>1. ALL ON-SITE STORM SEWER PIPING SHALL BE SOIL TIGHT ADS N-12 HIGH DENSITY POLYETHYLENE PIPE (HDPE) OR APPROVED EQUAL UNLESS NOTED OTHERWISE.</p> <p>2. ALL STORM SEWER CROSSINGS WITH 18 INCHES OR LESS OF CLEARANCE TO THE SANITARY SEWER SYSTEM SHALL HAVE A CONCRETE CRADLE ON THE UPPER PIPE AND CONCRETE ENCASUREMENT ON THE LOWER PIPE AS PER THE PIPE CROSSING DETAIL.</p> <p>3. BUILDING ROOF DRAIN SYSTEMS SHALL CONNECT TO SITE STORM SEWER SYSTEM UNLESS NOTED OTHERWISE.</p> <p>4. PROVIDE BICYCLE SAFE GRATES ON ALL NEW STORM SEWER INLETS AND ADA COMPLIANT GRATES ON ALL INLETS WITHIN PEDESTRIAN WALKS (IF APPLICABLE).</p> <p>5. ALL ONSITE STORMWATER FACILITIES SHALL BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH NJDEP STANDARD MAINTENANCE REQUIREMENTS. REFER TO THE STORMWATER MANAGEMENT FACILITIES OPERATIONS AND MAINTENANCE PLAN.</p> <p>6. THE MINIMUM DEPTH OF COVER SHALL BE 2'-0" FOR ALL STORM SEWER PIPES OR PER MANUFACTURERS' MINIMUM RECOMMENDED DEPTHS FOR HS-20 LOADING.</p> <p>7. UNLESS OTHERWISE NOTED, ALL STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE WITH A MINIMUM H-25 LOAD RATING. ALL STORM SEWER FRAMES, INLET GRATES, AND MANHOLE COVERINGS SHALL BE UNPAINTED AND UNCOATED HEAVY DUTY H-20 LOADING CAST IRON BY CAMPBELL FOUNDRY OR APPROVED EQUAL.</p> <p>8. UNLESS OTHERWISE NOTED OR INFERRED BY INVERT ELEVATIONS, PIPE CROWN ELEVATIONS SHALL BE MATCHED IN ALL MANHOLES AND INLETS.</p>	<p>1</p> <p>06/18/2023</p> <p>P.B. SUBMISSION</p>	CONSULTANT		
<p>GENERAL NOTES</p> <p>1. THE OFFICE OF THE MUNICIPAL ENGINEER SHALL BE NOTIFIED IN ADVANCE OF COMMENCEMENT OF CONSTRUCTION OF ANY IMPROVEMENTS UNDER ITS JURISDICTION.</p> <p>2. CONTRACTOR SHALL COORDINATE UTILITY MARK OUTS 72 HOURS PRIOR TO ANY DISTURBANCE.</p> <p>3. ALL SOIL EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION AND ARE SUBJECT TO INSPECTION BY THE LOCAL SOIL CONSERVATION DISTRICT.</p> <p>4. THE CONTRACTOR SHALL PROVIDE SUCH TEMPORARY DRAINAGE, SOIL EROSION, AND DUST CONTROL MEASURES AS MAY BE DIRECTED BY THE MUNICIPAL ENGINEER OR OTHER AGENCIES OR DEPARTMENTS TO SATISFY ENVIRONMENTAL CONCERNS.</p> <p>5. THE INSTALLATION OF UTILITIES MUST BE COORDINATED WITH BUILDING IMPROVEMENTS TO ASSURE THE WELL-BEING OF LIFE AND PROPERTY DURING CONSTRUCTION. WATER SERVICE IS A PRIMARY NEED AND MUST BE SCHEDULED ACCORDINGLY. WATER SUPPLY AND HYDRANT CONNECTIONS ARE TO BE ESTABLISHED AS A PRIORITY DURING INITIAL SITE DEVELOPMENT TO ASSURE ADEQUATE WATER FOR FIREFIGHTING DURING ALL PHASES OF CONSTRUCTION.</p> <p>6. AS INDICATED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" SUFFICIENT CONSTRUCTION WARNING SIGNS ARE TO BE PROVIDED AND MAINTAINED BY CONTRACTORS PERFORMING CONSTRUCTION WORK. SAID SIGNS ARE TO BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETED AND APPROVED BY THE APPROPRIATE MUNICIPAL INSPECTION PERSONNEL. NO CONSTRUCTION THAT IN ANY WAY INTERFERES WITH ROADWAY TRAFFIC SHALL COMMENCE UNTIL THE APPROPRIATE CONSTRUCTION WARNING SIGNS ARE INSTALLED AND INSPECTED BY THE MUNICIPAL ENGINEER. ALL SUCH SIGNAGE, STRIPING, PARKING AND TRAFFIC CIRCULATION SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", AS AMENDED, AS WELL AS THE REQUIREMENTS OF THE MUNICIPALITY AND NJDOT.</p> <p>7. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE MUNICIPAL CONSTRUCTION GUIDELINES FOR STREET OPENINGS WITHIN THE PUBLIC RIGHT OF WAY.</p> <p>8. ALL ROADWAYS ARE TO BE PASSABLE FOR FIRE DEPARTMENT USE DURING CONSTRUCTION. ANY ROADWAY CLOSURE OR RELOCATION SHALL BE COORDINATED BY THE CONTRACTOR WITH THE FIRE DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION FOR ALL AREAS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING WARNING SIGNS, BARRICADES, AND ANY AND ALL SAFETY MEASURES AS MAY BE REQUIRED BY LOCAL CODES, OSHA AND/OR MUTCD.</p> <p>9. LOCATION OF EXISTING INLETS, CATCH BASINS AND MANHOLES MUST BE FIELD VERIFIED BEFORE WORK MAY COMMENCE. ANY CONFLICTING INFORMATION FROM THAT SHOWN SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER.</p> <p>10. SUBSTITUTIONS OF PROPRIETARY MATERIAL AND/OR PRODUCT SPECIFICATIONS THAT NOTE "OR EQUAL" MUST BE APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE DESIGN ENGINEER THAT THE SUBSTITUTION IS EQUAL.</p> <p>11. IT IS NOT THE INTENT OF THESE PLANS TO PROVIDE REINFORCING STEEL AND CONCRETE DESIGNS FOR ANY PRE-CAST OR POURED-IN-PLACE CONCRETE STRUCTURES, OTHER THAN THE REINFORCING STEEL AND CONCRETE DESIGNS SPECIFICALLY NOTED ON THESE PLANS. ANY REINFORCING STEEL AND CONCRETE DESIGN MUST BE SUPPLIED, SIGNED & SEALED BY THE PRE-CAST MANUFACTURER OR A REPUTABLE LICENSED STRUCTURAL ENGINEER IN THE STATE OF NEW JERSEY REPRESENTING THE CONTRACTOR AND SHALL BE INCLUDED IN THE SHOP DRAWING SUBMITTAL SUBJECT TO REVIEW BY PS&S.</p> <p>12. THE CONTRACTOR SHALL PREPARE AS-BUILT DRAWINGS FOR ALL UNDERGROUND IMPROVEMENTS INSTALLED DURING CONSTRUCTION, ETC. AS-BUILT DRAWINGS MUST BE SIGNED & SEALED BY A NJ PROFESSIONAL ENGINEER OR LAND SURVEYOR. THE AS-BUILT SURVEY DRAWINGS MUST COMPLY WITH UTILITY OWNER STANDARDS/REQUIREMENTS. COPIES SHALL BE SUBMITTED TO UTILITY COMPANY AND/OR OWNER.</p> <p>13. ALL CONSTRUCTION SHOWN HEREIN SHALL CONFORM TO MUNICIPAL AND/OR COUNTY STANDARDS, CONSTRUCTION DETAILS, AND SPECIFICATIONS APPLICABLE AS WELL AS THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, UNLESS SPECIFICALLY NOTED OTHERWISE. IN CASE OF CONFLICT, THE MORE RESTRICTIVE SHALL GOVERN. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER OF ALL CONFLICTS.</p>	<p>DEMOLITION NOTES</p> <p>1. PRIOR TO THE START OF GRADING AND CLEARING OPERATIONS, THE CONTRACTOR SHALL INSTALL ORANGE COLORED FENCING ALONG THE LIMITS OF GRADING TO DELINEATE THE PROTECTED NATURAL AREAS FROM DAMAGE.</p> <p>2. ALL EXISTING STRUCTURES AND UTILITIES NOT INDICATED TO BE REMOVED SHALL BE LOCATED, IDENTIFIED AND PROTECTED FROM DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD. ALL STRUCTURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNER. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO THE OWNER.</p> <p>3. ALL TEMPORARY STORAGE EQUIPMENT/DUMPSTERS PROVIDED BY THE CONTRACTOR SHALL BE MAINTAINED PROPERLY AND DISPOSED OF BY THE CONTRACTOR UPON COMPLETION OF THE WORK. LOCATIONS TO BE A MINIMUM OF 15 FEET FROM BUILDINGS AND AS APPROVED BY THE OWNER.</p> <p>4. ANY UTILITIES NOT SHOWN ON THE PLANS BUT UNCOVERED IN THE FIELD SHALL BE VERIFIED FOR ITS STATUS (ACTIVE OR ABANDONED). THE UTILITIES CONFIRMED ABANDONED SHALL BE COMPLETELY REMOVED (WITHIN THE LIMITS OF THE WORK) AND DISPOSED OF OFF SITE AS PART OF THIS WORK. ANY DISRUPTION TO ACTIVE UTILITIES MUST BE REPAIRED BY THE CONTRACTOR WITHIN 24 HOURS OF THE DISRUPTION AT THE CONTRACTORS EXPENSE AND TO THE SATISFACTION OF THE OWNER.</p> <p>5. ALL MATERIAL REMOVED SHALL BE SEGREGATED BY MATERIAL TYPE AND DISPOSED OF PER LOCAL, NJDEP, USEPA AND OTHER APPLICABLE REGULATORY AUTHORITY REGULATIONS.</p> <p>6. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, THE CONTRACTOR SHALL IMMEDIATELY STOP WORK AND REPORT SUCH FINDINGS TO THE OWNER'S REPRESENTATIVE WHO WILL ARRANGE FOR TESTING AND BE RESPONSIBLE FOR THE PERFORMANCE OF ANY SERVICES IN CONNECTION WITH IDENTIFYING OR THE REMOVAL OF SUCH MATERIALS.</p> <p>7. DEWATERING: PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING MEANS AND METHODS NECESSARY TO DEWATER THE PROJECT SITE AND FACILITATE COMPACTION OF BACKFILL AS REQUIRED.</p> <p>8. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF BOTTOMS AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADE. PROVIDE AND MAINTAIN PUMPS, WELL POINTS, SUMPS, SUCTION AND DISCHARGE LINES, AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. DEWATERING SYSTEMS SHALL BE INSTALLED AND OPERATED SUCH THAT UPWARD FLOW OF GROUNDWATER IS PREVENTED AND THE BEARING STRENGTH OF THE SUBGRADE SOILS IS NOT AFFECTED.</p> <p>9. CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY COVER (CRUSHED STONE, STEEL PLATES OR OTHER MEANS) OVER ALL ACTIVE UNDERGROUND UTILITY PIPING DURING CONSTRUCTION IN ORDER TO PROTECT PIPING WHICH MAY NOT HAVE ENOUGH COVER (BELOW FINISHED GRADE) TO WITHSTAND CONSTRUCTION EQUIPMENT LOAD.</p> <p>10. BEGINNING OF DEMOLITION/CONSTRUCTION SHALL INDICATE THAT THE CONTRACTOR ACCEPTS THE EXISTING CONDITIONS.</p> <p>11. TEMPORARY STAGING AREA FOR THE PROPOSED WORK SHALL BE AS DIRECTED BY THE OWNERS REPRESENTATIVE.</p> <p>12. TRENCH EXCAVATION, IF REQUIRED FOR UTILITIES IN PAVED AREAS, SHALL BE BACK FILLED WITH COMPACTED DENSE GRADED AGGREGATE CONFORMING TO NJDOT SPECIFICATION SECTION 901 UP TO PAVEMENT SUBBASE.</p> <p>13. BITUMINOUS PAVEMENT CONSTRUCTION/REPAIR SHALL BE IN ACCORDANCE WITH NJDOT AND PROJECT SPECIFICATIONS/DETAILS.</p> <p>14. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE, MUNICIPAL ENGINEER, AND "NEW JERSEY ONE-CALL" (800-272-1000) AT LEAST 72 HOURS PRIOR TO ANY SITE DISTURBANCE.</p> <p>15. CONTRACTOR SHALL VERIFY THAT ALL EXISTING STORM SEWERS LOCATED WITHIN THE PROJECT AREA ARE CLEAN AND FREE OF ANY DEBRIS OR BLOCKAGE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IF ANY STORM SEWER REQUIRES CLEANING OR RESTORATION.</p> <p>16. THE IMPORTED FILL/BACKFILL SOIL SHALL BE SAMPLED IN ACCORDANCE WITH APPLICABLE NJDEP STANDARDS.</p> <p>17. EXPLOSIVES OR BLASTING IS RESTRICTED.</p>	<p>ADA ACCESSIBILITY NOTES</p> <p>1. CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF HANDICAP (ADA, BARRIER FREE, ETC.) ACCESSIBLE COMPONENTS FOR THE SITE. THESE COMPONENTS (AS CONSTRUCTED) MUST COMPLY WITH THE CURRENT EDITION OF THE NJ UNIFORM CONSTRUCTION CODE SUBCHAPTER 7 BARRIER FREE ACCESS, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EGRESS, SHALL COMPLY WITH THE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO:</p> <p>• PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (2%) PER FOOT OR NOMINALLY 2.0% IN ANY DIRECTION.</p> <p>• CURB RAMPS - SLOPE SHALL NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.</p> <p>• LANDINGS - SHALL BE PROVIDED AT EACH END OF RAMPS, POSITIVE DRAINAGE SHALL BE PROVIDED, AND CROSS SLOPE SHALL NOT EXCEED 1:50 (2%) PER FOOT OR NOMINALLY 2.0%.</p> <p>• PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - SHALL PROVIDE A 36 INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL. (CAR OVERHANGS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 1/2" PER FOOT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (2.1% PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE, WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), AN ADA RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM DISTANCE OF 30 FEET, SHALL BE PROVIDED. THE RAMP SHALL HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 (2%) PER FOOT OR NOMINALLY 2.0% FOR POSITIVE DRAINAGE.</p> <p>• DOORWAYS - SHALL HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:50 (2%) PER FOOT OR NOMINALLY 2.0% FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE).</p> <p>2. IT IS RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE OFFICIAL PRIOR TO COMMENCING WORK TO VERIFY COMPLIANCE FOR ALL ADA COMPONENTS.</p>	<p>LEGEND</p> <p>--- -- PROPERTY LINE</p> <p>--- 20 --- EXISTING CONTOUR</p> <p>--- 20 --- PROPOSED CONTOUR</p> <p>× 20.1 EXISTING SPOT ELEVATION</p> <p>× 20.10 PROPOSED SPOT ELEVATION</p> <p>SS PROPOSED SANITARY SEWER</p> <p>⊕ EXISTING STORM MANHOLE</p> <p>⊕ EXISTING SANITARY MANHOLE</p> <p>⊕ PROPOSED SANITARY MANHOLE</p> <p>SS EXISTING SANITARY SEWER</p> <p>== EXISTING STORM SEWER</p> <p>■ EXISTING CURB INLET</p> <p>CONCRETE HEAD WALL OR FLARED END SECTION</p> <p>E/T UNDERGROUND ELECTRIC</p> <p>G EXISTING GAS LINE</p> <p>W EXISTING WATER LINE</p> <p>FM EXISTING SANITARY FORCE MAIN</p> <p>UG EXISTING UNDERGROUND ELECTRIC</p> <p>E EXISTING OVERHEAD ELECTRIC</p> <p>⊕ EXISTING UTILITY POLE</p> <p>⊕ EXISTING WATER VALVE</p> <p>⊕ EXISTING FIRE HYDRANT</p> <p>--- CHAIN LINK FENCE</p> <p>⊕ EXISTING SIGN</p> <p>⊕ EXISTING SINGLE LIGHT FIXTURE</p> <p>⊕ EXISTING DOUBLE LIGHT FIXTURE</p> <p>⊕ EXISTING LIGHT POLE</p> <p>⊕ EXISTING TREE</p> <p>TW TOP OF WALL</p> <p>BW BOTTOM OF WALL</p> <p>HP HIGH POINT</p> <p>FM FORCE MAIN</p> <p>LP LOW POINT</p> <p>LYP TYPICAL</p> <p>R RADIUS</p> <p>GR GRATE</p> <p>INV INVERT</p> <p>RCP REINFORCED CONCRETE PIPE</p> <p>PVC POLYVINYL CHLORIDE PIPE</p> <p>LF LINEAR FOOT</p> <p>MH STORM SEWER MANHOLE</p> <p>E.P. EXISTING EDGE OF PAVEMENT</p> <p>TC TOP OF CURB</p> <p>INLET SEDIMENT FILTER AND STORM DRAIN</p> <p>LIMIT OF DISTURBANCE</p> <p>SILT FENCE</p> <p>TREE LINE</p> <p>TREE PROTECTION</p>	<p>CLIENT</p> <p>Johnson & Johnson</p> <p>PAULUS, SOKOLOWSKI AND SARTOR, LLC.</p> <p>3 MOUNTAINVIEW ROAD P.O. BOX 4039 WARREN, NJ 07059 PHONE: (732) 583-9700</p> <p>CERTIFICATE OF AUTHORIZATION NO. 24GAG28032700</p> <p>ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. NOTIFY PAULUS, SOKOLOWSKI AND SARTOR, LLC. OF ANY CONFLICTS, ERRORS, AMBIGUITIES OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION. ALL DIMENSIONS SHALL BE AS NOTED IN WORDS OR NUMBERS ON THE CONTRACT DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS.</p> <p>THESE CONTRACT DRAWINGS CONTAIN DATA WITHDRAWN SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT. 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<p>SHOP DRAWING SUBMITTALS</p> <p>1. THE CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS FOR ALL COMPONENTS OF A UNIT OF CONSTRUCTION (EG. PRECAST STRUCTURE WITH FRAME AND CASTING, PIPE MATERIAL, JOINT TYPE, AND LADDER RUNGS).</p> <p>2. SUBSTITUTIONS OF PROPRIETARY MATERIAL AND/OR PRODUCT SPECIFICATIONS THAT NOTE "OR EQUAL" MUST BE APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DEMONSTRATE TO THE SATISFACTION OF THE DESIGN ENGINEER THAT THE SUBSTITUTION IS EQUAL AND ACCEPTABLE.</p> <p>3. SHOP DRAWINGS AND OTHER SUBMITTALS SHALL BE PROVIDED A MINIMUM OF 12 DAYS IN ADVANCE OF CONTRACTOR'S NEED.</p> <p>4. INVERT ELEVATIONS AS INDICATED ON SHOP DRAWINGS WILL BE VERIFIED. STRUCTURE OPENINGS WILL NOT BE REVIEWED AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.</p>							<p>PROJECT NO.: 05574.0003</p> <p>SCALE: NONE</p> <p>DATE: 06-02-2023</p> <p>SHEET NO.</p>	<p>DRAWN BY: R.E.</p> <p>CHECKED BY: A.M.</p> <p>SHEET 02 OF 22</p>
							<p>BUILDING 1000 PARKING LOT AND BUILDING ADDITION IMPROVEMENTS</p> <p>BLOCK No. 2, LOT No. 18 BOROUGH OF RARITAN SOMERSET COUNTY, NEW JERSEY</p>	<p>GENERAL NOTES AND LEGEND</p>
							<p>C-02</p>	



REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT

Johnson & Johnson

PS&S PAULUS, SOKOLOWSKI AND SARTOR, L.L.C.

3 MOUNTAINVIEW ROAD
P.O. BOX 4039
WARREN, NJ 07059
PHONE: (732) 563-9700

CERTIFICATE OF AUTHORIZATION NO. 24CA28032700

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PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

Adolf Montana 6/19/23
SIGNATURE DATE

PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

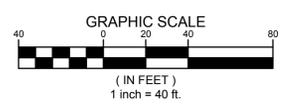
SHEET TITLE

**PARKING LOT
EXISTING CONDITIONS
AND DEMOLITION PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: 1" = 40' CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 04 OF 22
SHEET NO. **C-04**

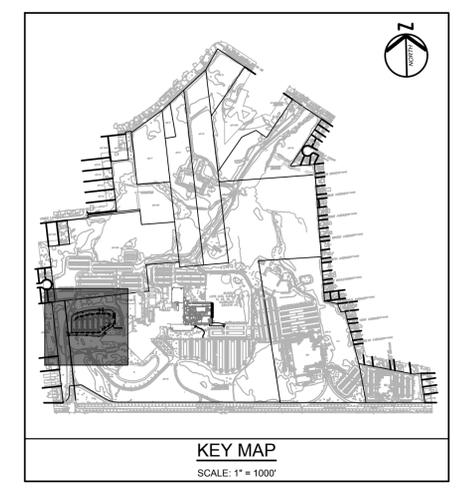
- LEGEND:**
- EXISTING STORM DRAINAGE PIPE TO BE REMOVED
 - EXISTING SANITARY SEWER PIPE TO BE REMOVED
 - EXISTING STORM AND SANITARY STRUCTURES TO BE REMOVED
 - EXISTING TREES TO BE REMOVED

- NOTES:**
- HORIZONTAL DATUM IS BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD 1983.
 - VERTICAL DATUM IS BASED ON NAVD 1988.
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 - UTILITY INFORMATION SHOWN HEREON WAS FIELD VERIFIED BY PAULUS, SOKOLOWSKI AND SARTOR, L.L.C. DURING OCTOBER & NOVEMBER, 2018.



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3 MOUNTAINVIEW ROAD
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WARREN, NJ 07059
PHONE: (732) 563-9700

CERTIFICATE OF AUTHORIZATION NO. 24G428032700

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PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

Adolf Montana 6/19/23
SIGNATURE DATE

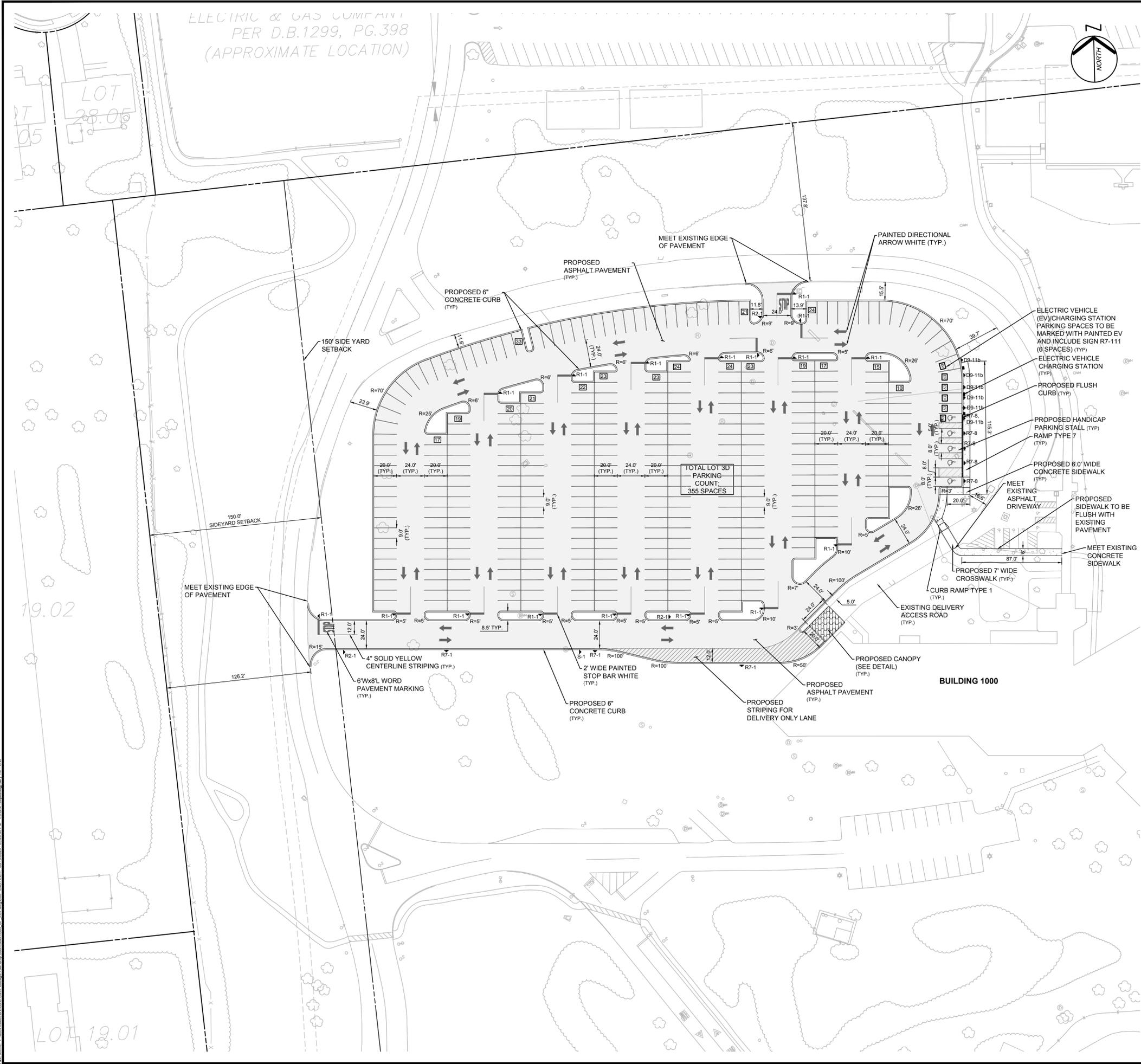
PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

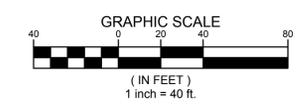
SHEET TITLE

**PARKING LOT
SITE PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: 1" = 40' CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 05 OF 22
SHEET NO. **C-05**

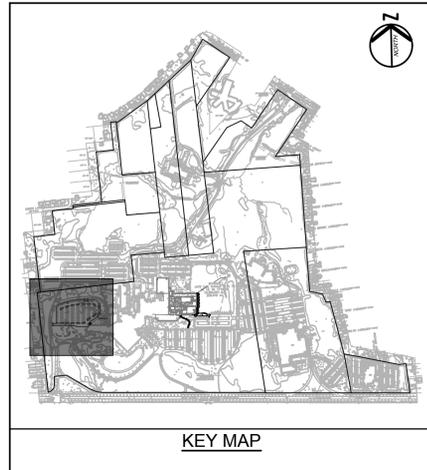


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ELECTRIC & GAS COMPANIES
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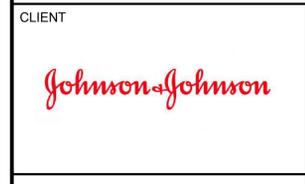


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PAULUS, SOKOLOWSKI AND SARTOR, L.L.C.

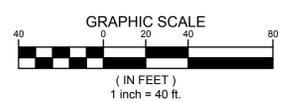
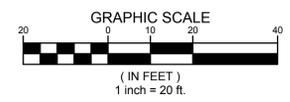
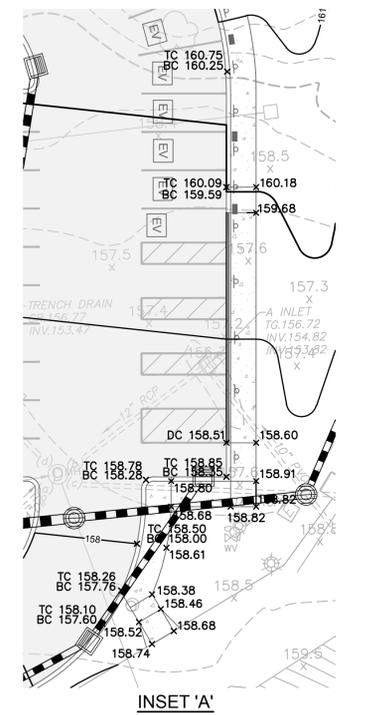
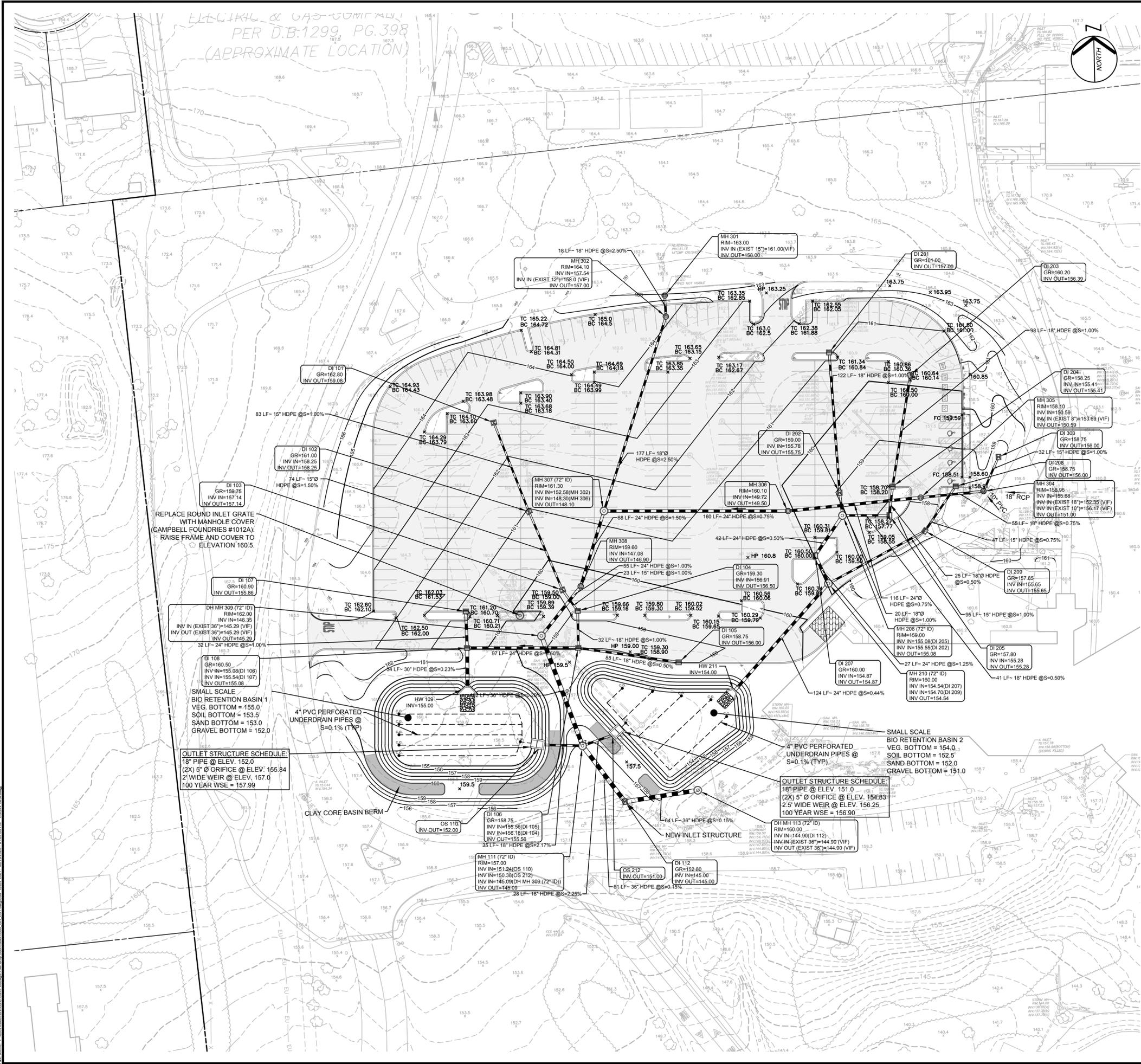
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 P.O. BOX 4039
 WARREN, NJ 07059
 PHONE: (732) 560-9700
 CERTIFICATE OF AUTHORIZATION NO. 24CA28032700

ADOLF MONTANA, P.E.
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978

PROJECT
**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK No. 2, LOT No. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE
**PARKING LOT
 GRADING AND
 DRAINAGE PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
 SCALE: 1" = 40' CHECKED BY: A.M.
 DATE: 06-02-2023 SHEET 06 OF 22
 SHEET NO. **C-06**



REPLACE ROUND INLET GRATE
 WITH MANHOLE COVER
 CAMPBELL FOUNDRIES #1012A).
 RAISE FRAME AND COVER TO
 ELEVATION 160.5.

SMALL SCALE
 BIO RETENTION BASIN 1
 VEG. BOTTOM = 155.0
 SOIL BOTTOM = 153.0
 SAND BOTTOM = 153.0
 GRAVEL BOTTOM = 152.0

OUTLET STRUCTURE SCHEDULE:
 18" PIPE @ ELEV. 152.0
 (2X) 5" Ø ORIFICE @ ELEV. 155.84
 2" WIDE WEIR @ ELEV. 157.0
 100 YEAR WSE = 157.99

4" PVC PERFORATED
 UNDERDRAIN PIPES @
 S=0.1% (TYP)

CLAY CORE BASIN BERM

SMALL SCALE
 BIO RETENTION BASIN 2
 VEG. BOTTOM = 154.0
 SOIL BOTTOM = 152.5
 SAND BOTTOM = 152.0
 GRAVEL BOTTOM = 151.0

OUTLET STRUCTURE SCHEDULE:
 18" PIPE @ ELEV. 151.0
 (2X) 5" Ø ORIFICE @ ELEV. 154.83
 2.5" WIDE WEIR @ ELEV. 156.25
 100 YEAR WSE = 156.90

4" PVC PERFORATED
 UNDERDRAIN PIPES @
 S=0.1% (TYP)

NEW INLET STRUCTURE

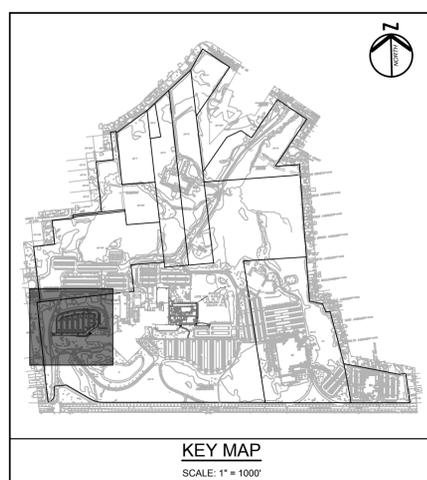
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PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
SHADE TREE(S)						
AR	10	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5" CAL. MIN.	B+B	LIMBED UP 7'
NS	14	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	2.5" CAL. MIN.	B+B	LIMBED UP 7'
TC	9	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5" CAL. MIN.	B+B	LIMBED UP 7'
ZS	13	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5" CAL. MIN.	B+B	LIMBED UP 7'
EVERGREEN TREE(S)						
JSM	6	JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	6' HEIGHT MIN.	B+B	-
PG	11	PICEA GLAUCA 'DENSATA'	BLACK HILLS WHITE SPRUCE	6' HEIGHT MIN.	B+B	-
PPG	12	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	6' HEIGHT MIN.	B+B	-
EVERGREEN SHRUB(S)						
IGC	87	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24-30"	CONTAINER	-
IMB	60	ILEX X MESERVEAE 'BLUE MAID'	BLUE MAID HOLLY	24-30"	CONTAINER	-
JH	69	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18-24"	CONTAINER	SPACED 36" O.C.
ORNAMENTAL GRASSES(S)						
SCH	6	SCHIZACHYRUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL.	CONTAINER	-

NOTE:
 1. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
 2. REFER TO LANDSCAPE NOTES & DETAILS FOR BIORETENTION AND LAWN AREA SEED MIX COMPOSITIONS



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1	06/16/2023	P.B. SUBMISSION

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 3 MOUNTAINVIEW ROAD
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 PHONE: (732) 560-9700
 CERTIFICATE OF AUTHORIZATION NO. 24GCA28032700

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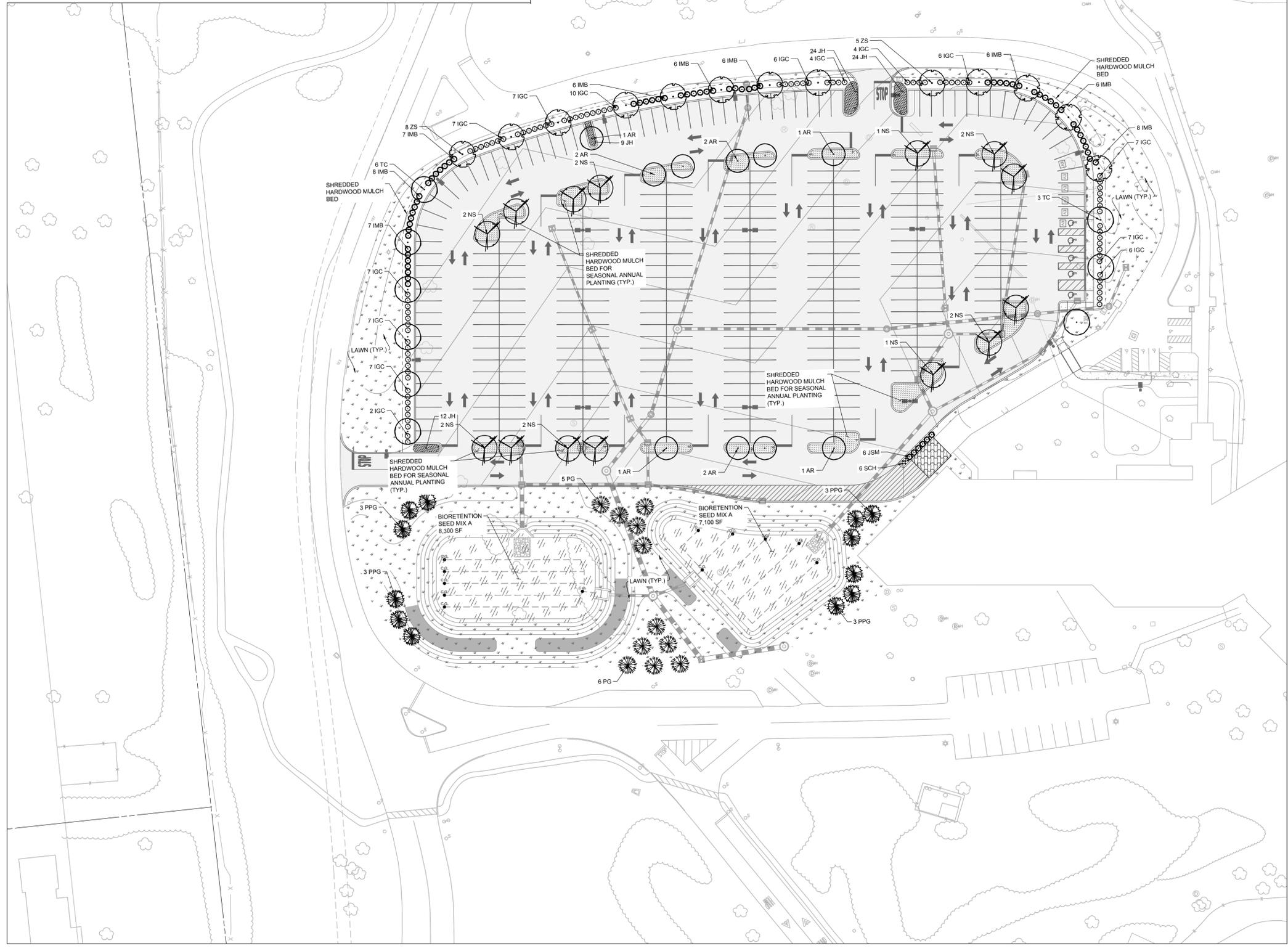
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 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978

Adolf Montana
 SIGNATURE DATE 6/19/23

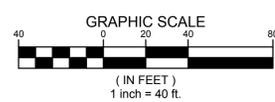
PROJECT
**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK No. 2, LOT No. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE
**PARKING LOT
 LANDSCAPE PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: P.A.
 SCALE: 1" = 40' CHECKED BY: A.M.
 DATE: 06-02-2023 SHEET 07 OF 22
 SHEET NO. **C-07**

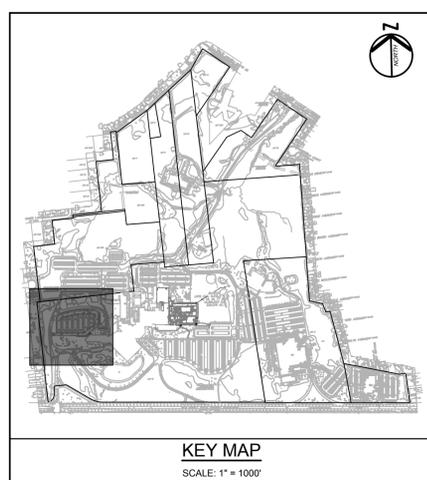


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ELECTRIC & GAS COMPANY
PER D.B.1299, PG.398
(APPROXIMATE LOCATION)



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1	06/16/2023	P.B. SUBMISSION

CONSULTANT

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CLIENT

Johnson & Johnson

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Adolf Montana 6/19/23
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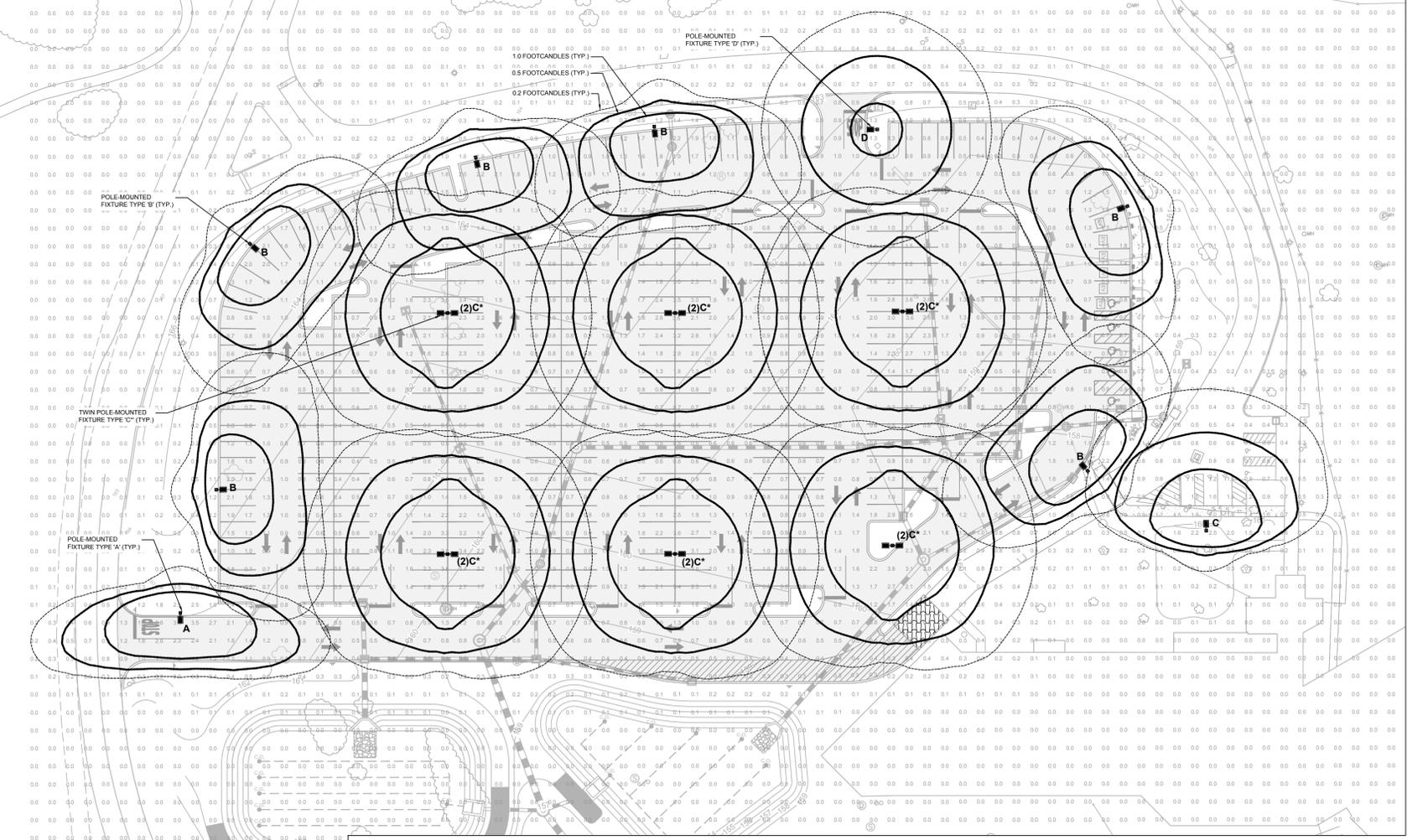
PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

**PARKING LOT
LIGHTING PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: P.A.
SCALE: 1" = 40' CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 08 OF 22
SHEET NO. **C-08**

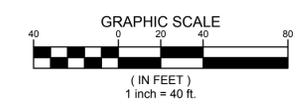


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Mounting Height	Lumens Per Lamp	Light Loss Factor	Wattage
	A	1	ECOFORM AREA LED - SMALL	ECF-S-32L-700-NW-G2-AR-2-UNV-CS50-BZ	LED POLE-MOUNTED LUMINAIRE COLOR: BRONZE TEMPERATURE: 4,000 K	LED - TYPE 2	25'	9,718	0.9	73
	B	6	ECOFORM AREA LED - SMALL	ECF-S-32L-700-NW-G2-AR-3-UNV-CS50-BZ	LED POLE-MOUNTED LUMINAIRE COLOR: BRONZE TEMPERATURE: 4,000 K	LED - TYPE 3	25'	9,509	0.9	73
	C / C*	13	ECOFORM AREA LED - SMALL	ECF-S-32L-700-NW-G2-AR-4-UNV-CS50-BZ	LED POLE-MOUNTED LUMINAIRE COLOR: BRONZE TEMPERATURE: 4,000 K	LED - TYPE 4	25'	9,948	0.9	73
	D	1	ECOFORM AREA LED - SMALL	ECF-S-32L-700-NW-G2-AR-5-UNV-CS50-BZ	LED POLE-MOUNTED LUMINAIRE COLOR: BRONZE TEMPERATURE: 4,000 K	LED - TYPE 5	25'	10,219	0.9	73

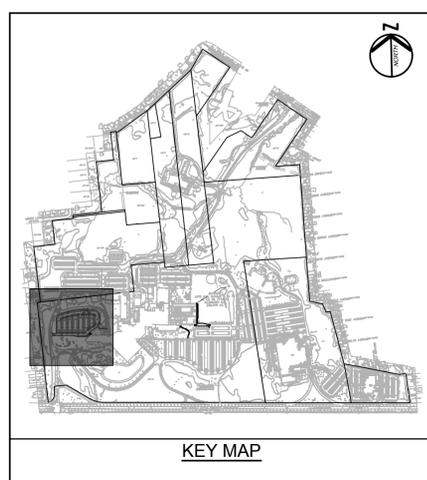
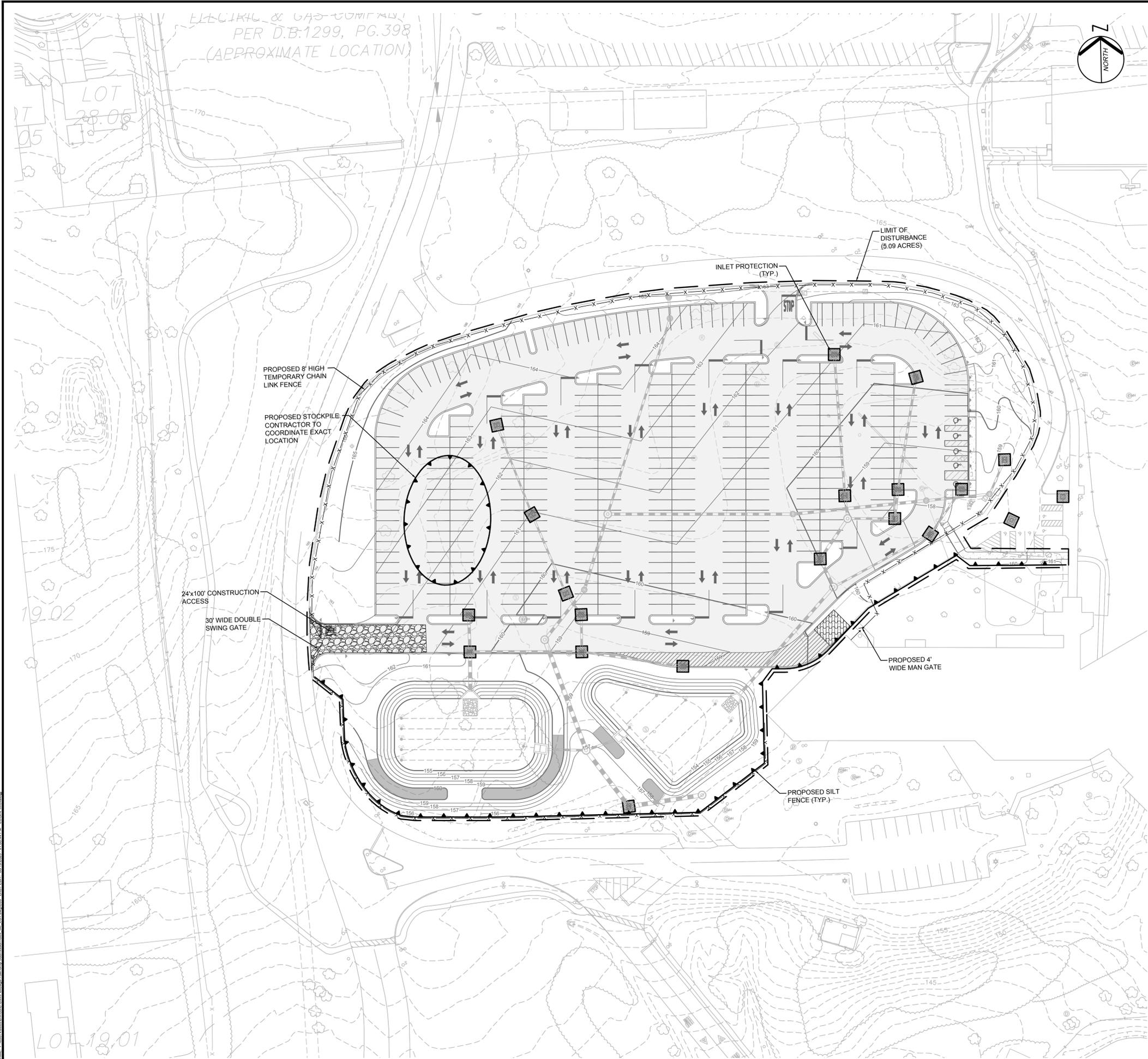
Fixture Type	Manufacturer	Quantity	Description	Catalog Number
A, B, C & D	SIGNIFY GARDCO SQUARE STRAIGHT STEEL	9	25' HEIGHT	SSS-CB-4-7-25-D1-BZ
C*	SIGNIFY GARDCO SQUARE STRAIGHT STEEL	6	22' HEIGHT	SSS-CB-4-7-25-D1-BZ

STATISTICS					
Description	Avg	Max	Min	Max/Min	Avg/Min
Parking Lot / Drives	1.00 fc	3.60 fc	0.30 fc	12.0:1	3.3:1
Sidewalks	1.20 fc	2.30 fc	0.60 fc	3.8:1	2.0:1

- NOTES:
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 - VERTICAL DATUM IS BASED ON NAVD 1988.
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 - UTILITY INFORMATION SHOWN HEREON WAS FIELD VERIFIED BY PAULUS, SOKOLOWSKI AND SARTOR, L.L.C. DURING OCTOBER & NOVEMBER, 2018.



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REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT

Johnson & Johnson

PS&S PAULUS, SOKOLOWSKI AND SARTOR, LLC.
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 P.O. BOX 4039
 WARREN, NJ 07059
 PHONE: (732) 563-9700
 CERTIFICATE OF AUTHORIZATION NO. 24GA28032700

ADOLF MONTANA, P.E.
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978

Adolf Montana 6/19/23
 SIGNATURE DATE

PROJECT

**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK No. 2, LOT No. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

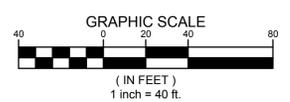
**PARKING LOT
 SOIL EROSION AND
 SEDIMENT CONTROL
 PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
 SCALE: 1" = 40' CHECKED BY: A.M.
 DATE: 06-02-2023 SHEET 09 OF 22
 SHEET NO. **C-09**

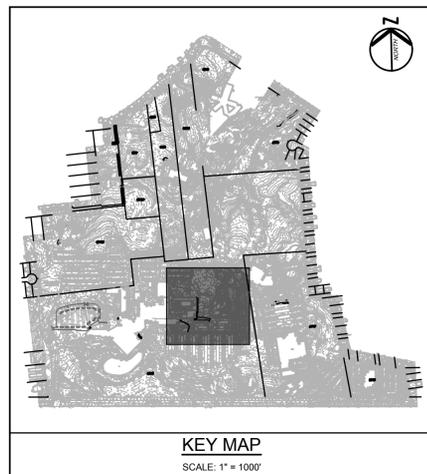
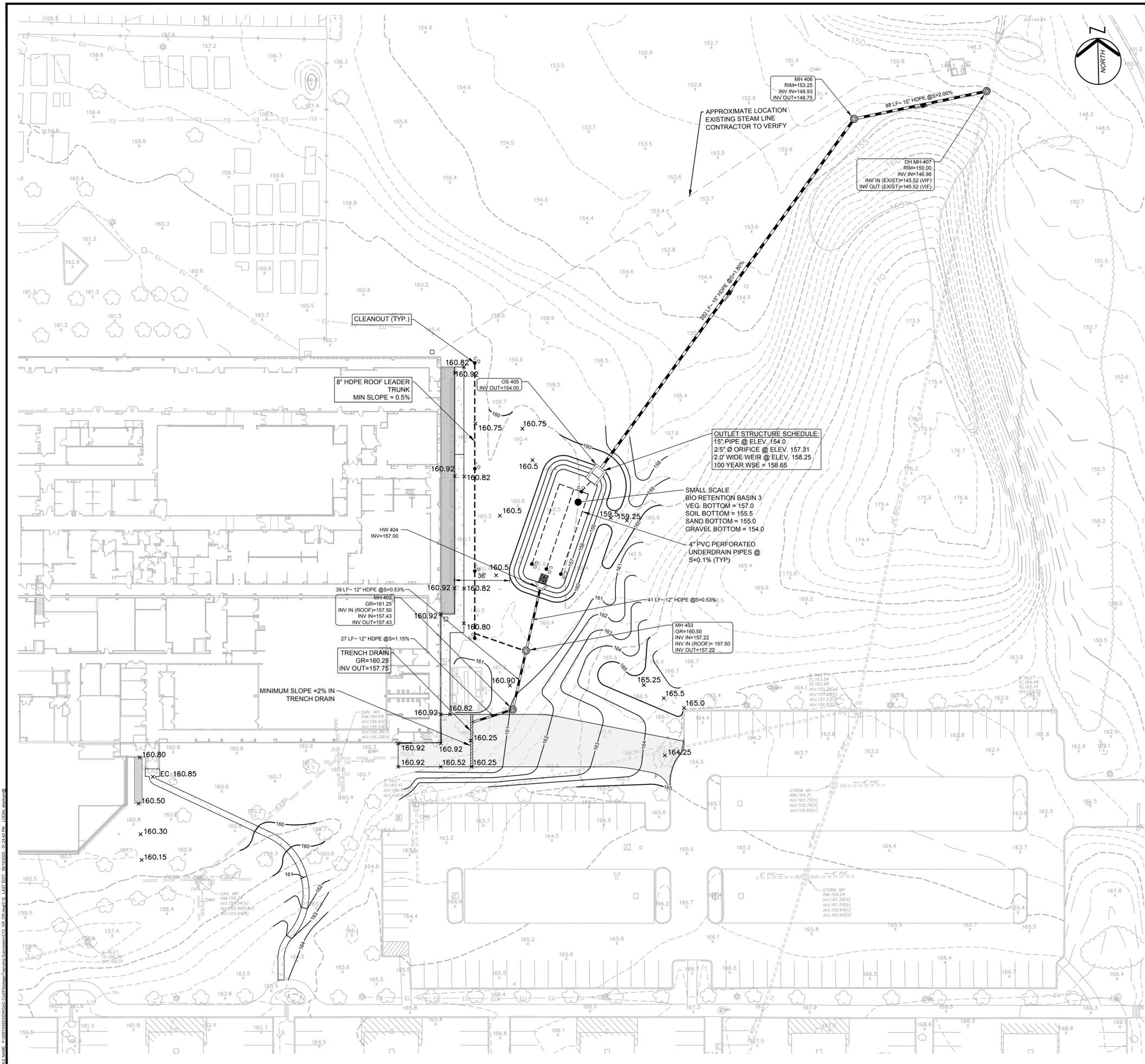
LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	PROPOSED CONSTRUCTION FENCE
	INLET SEDIMENT FILTER AND STORM DRAIN PROTECTION
	LIMIT OF DISTURBANCE
	SILT FENCE
	TREE LINE

- NOTES:
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FILE NAME: P:\05574.0003\DWG\Civil\Proposed\Submittal\09_Sheet_C-09.dwg; DATE: 06/19/23; 11:08:44 AM; USER: rmontana



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1	06/16/2023	P.B. SUBMISSION

CONSULTANT

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 CERTIFICATE OF AUTHORIZATION NO. 24G29832700

ADOLF MONTANA, P.E.
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978

6/19/23
 SIGNATURE DATE

PROJECT

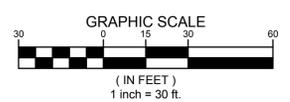
**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK No. 2, LOT No. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

**BUILDING ADDITION
 GRADING AND
 DRAINAGE PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
 SCALE: 1" = 30' CHECKED BY: A.M.
 DATE: 06-02-2023 SHEET 12 OF 22
 SHEET NO. **C-12**

- NOTES:
- HORIZONTAL DATUM IS BASED ON NEW JERSEY STATE PLANE COORDINATE SYSTEM, NAD 1983.
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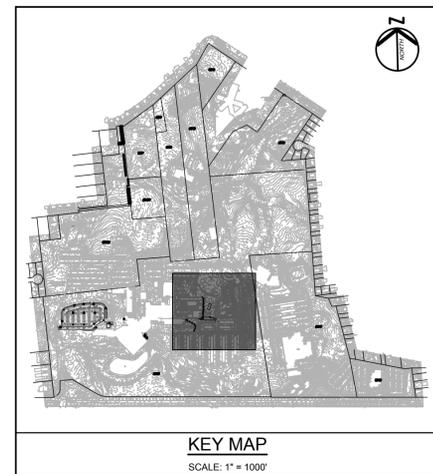
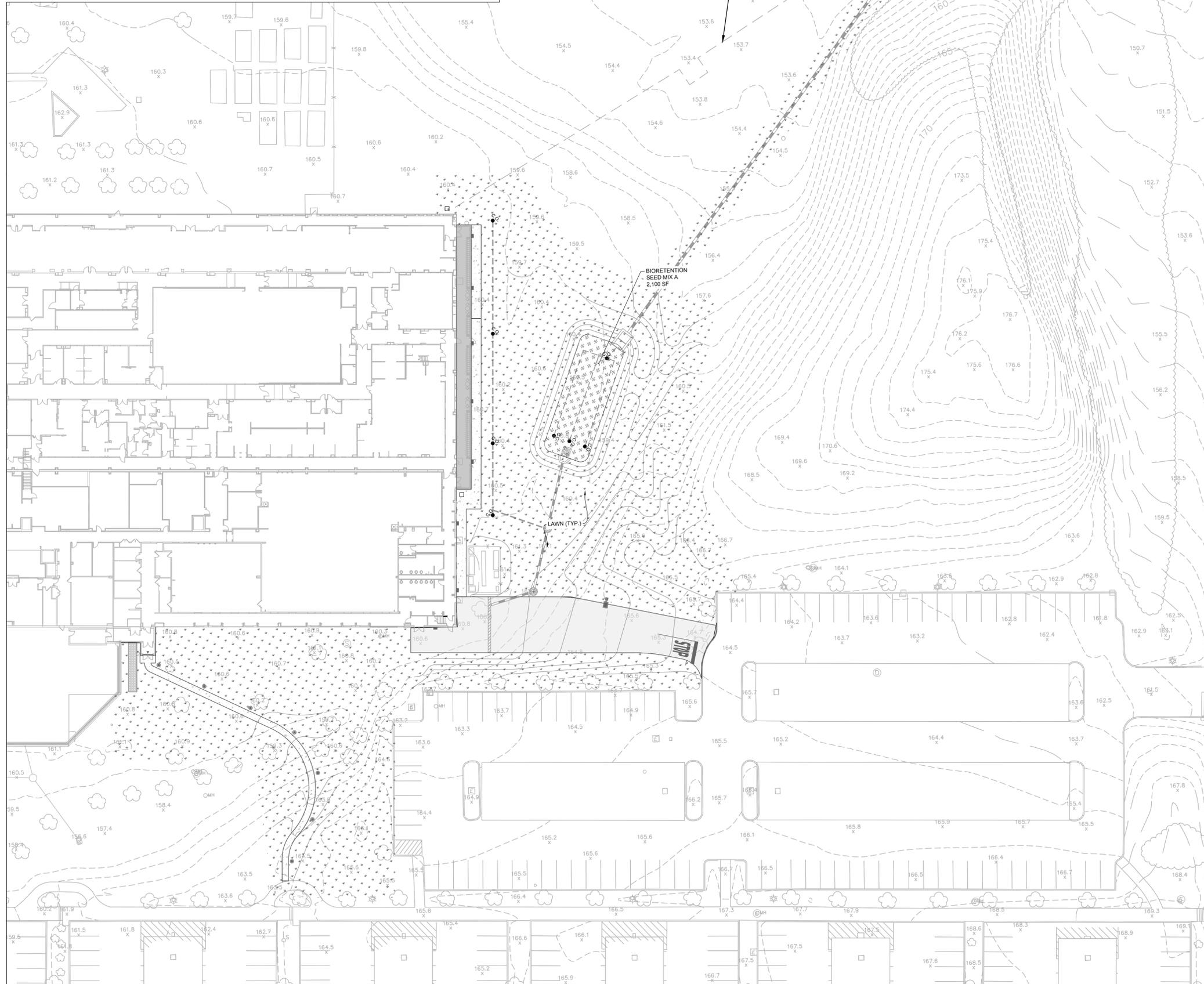


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PLANT SCHEDULE

KEY	QTY.	DESCRIPTION
SEED MIXES		
	2,100 SF	BIORETENTION SEED MIX A
	27,000 SF	LAWN SEED MIX

NOTE:
 1. IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
 2. REFER TO LANDSCAPE NOTES & DETAILS FOR BIORETENTION AND LAWN AREA SEED MIX COMPOSITIONS



REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

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PS&S PAULUS, SOKOLOWSKI AND SARTOR, L.L.C.

3 MOUNTAINVIEW ROAD
 P.O. BOX 4039
 WARREN, NJ 07059
 PHONE: (732) 560-9700

CERTIFICATE OF AUTHORIZATION NO. 24GA29832700

ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR. NOTIFY PAULUS, SOKOLOWSKI AND SARTOR, L.L.C. OF ANY CONFLICTS, ERRORS, OMISSIONS OR DISCREPANCIES IN THE CONTRACT DRAWINGS OR SPECIFICATIONS BEFORE PROCEEDING WITH CONSTRUCTION.
 ALL DIMENSIONS SHALL BE AS NOTED IN WORDS OR NUMBERS ON THE CONTRACT DRAWINGS. DO NOT SCALE THE DRAWINGS TO DETERMINE DIMENSIONS.
 THESE CONTRACT DRAWINGS CONTAIN DATA INTENDED SPECIFICALLY FOR THE NOTED PROJECT AND CLIENT. THEY ARE NOT INTENDED FOR USE OR EXTENSION OF THE PROJECT OR FOR THE COPYING AND/OR MODIFICATION OF THIS DOCUMENT OR ANY PORTION THEREOF WITHOUT THE WRITTEN PERMISSION OF PAULUS, SOKOLOWSKI AND SARTOR, L.L.C. IS PROHIBITED.
 UNLESS THESE DRAWINGS ARE SPECIFICALLY DESIGNATED AS "CONSTRUCTION ISSUES", THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION OR IMPROVEMENTS DEPICTED HEREIN. CONTRACTORS SHALL NOTIFY THE DESIGN ENGINEER TO OBTAIN CONSTRUCTION DOCUMENTS.
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ADOLF MONTANA, P.E.
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978

Adolf Montana 6/19/23
 SIGNATURE DATE

PROJECT

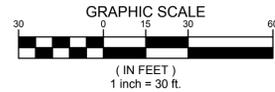
**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK No. 2, LOT No. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

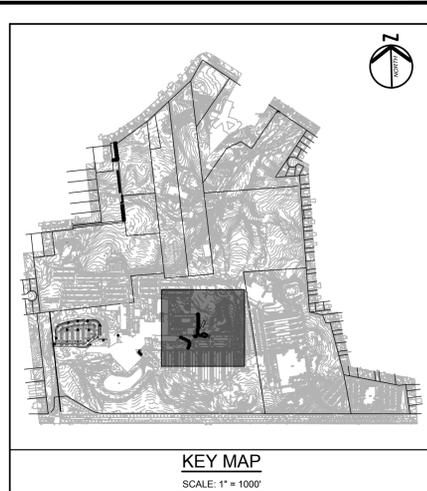
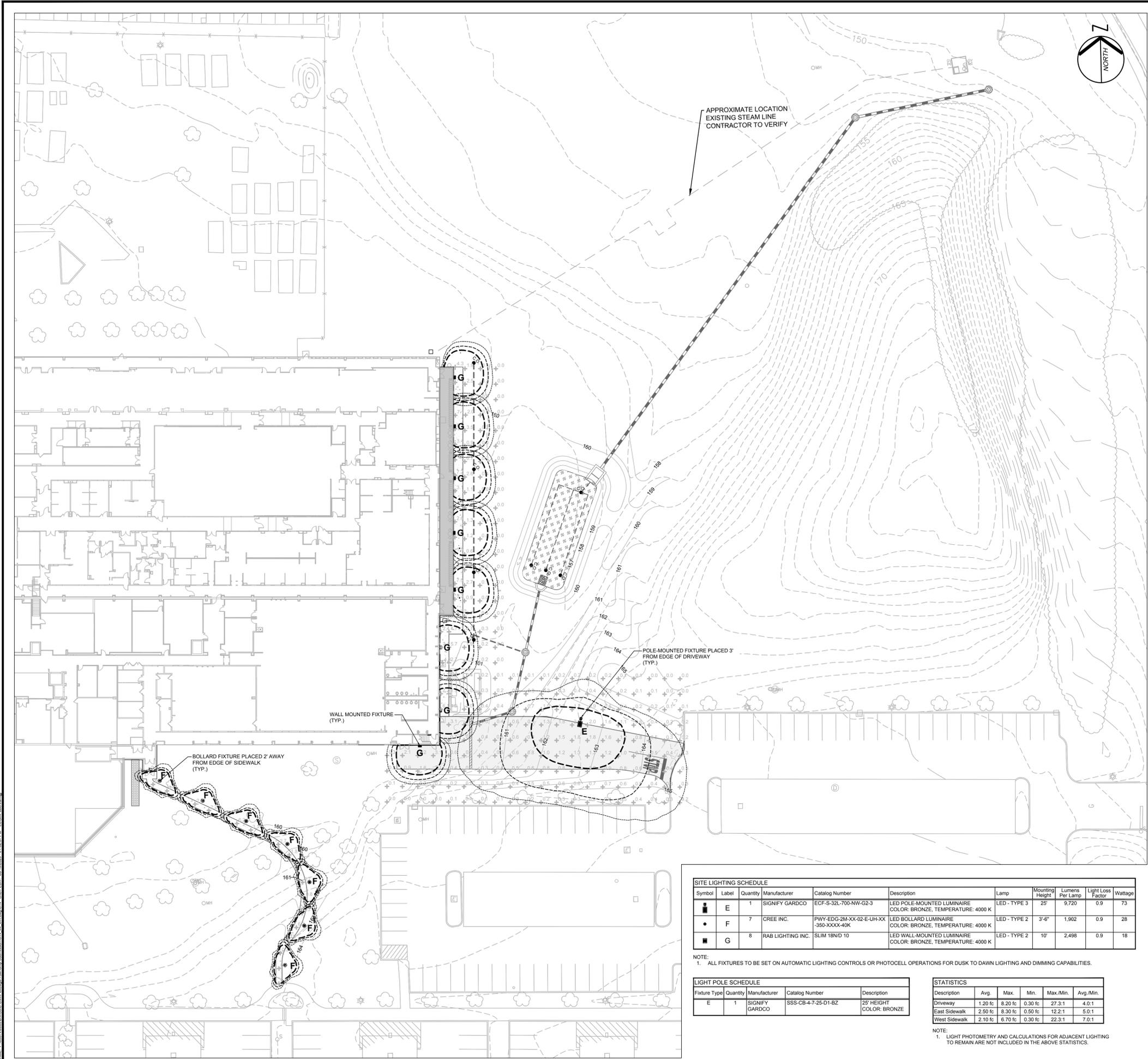
**BUILDING ADDITION
 LANDSCAPE PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
 SCALE: 1" = 30' CHECKED BY: A.M.
 DATE: 06-02-2023 SHEET 06 OF 22
 SHEET NO. **C-13**

- NOTES:
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REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT

Johnson & Johnson

PS&S PAULUS, SOKOLOWSKI AND SARTOR, L.L.C.

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CERTIFICATE OF AUTHORIZATION NO. 24GA28032700

ADOLF MONTANA, P.E.
PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

Adolf Montana 6/19/23
SIGNATURE DATE

PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

**BUILDING ADDITION
LIGHTING PLAN**

PROJECT NO.: 05574.0003 DRAWN BY: E.R.O.
SCALE: 1" = 30' CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 14 OF 22
SHEET NO. **C-14**

APPROXIMATE LOCATION
EXISTING STEAM LINE
CONTRACTOR TO VERIFY

POLE-MOUNTED FIXTURE PLACED 3'
FROM EDGE OF DRIVEWAY
(TYP.)

WALL MOUNTED FIXTURE
(TYP.)

BOLLARD FIXTURE PLACED 2' AWAY
FROM EDGE OF SIDEWALK
(TYP.)

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Mounting Height	Lumens Per Lamp	Light Loss Factor	Wattage
■	E	1	SIGNIFY GARDCO	ECF-S-32L-700-NW-G2-3	LED POLE-MOUNTED LUMINAIRE COLOR: BRONZE, TEMPERATURE: 4000 K	LED - TYPE 3	25'	9,720	0.9	73
●	F	7	CREE INC.	PHY-EDG-2M-XX-02-E-UH-XX-350-XXXX-40K	LED BOLLARD LUMINAIRE COLOR: BRONZE, TEMPERATURE: 4000 K	LED - TYPE 2	3'-6"	1,902	0.9	28
■	G	8	RAB LIGHTING INC.	SLIM 18ND 10	LED WALL-MOUNTED LUMINAIRE COLOR: BRONZE, TEMPERATURE: 4000 K	LED - TYPE 2	10'	2,498	0.9	18

NOTE:
1. ALL FIXTURES TO BE SET ON AUTOMATIC LIGHTING CONTROLS OR PHOTOCELL OPERATIONS FOR DUSK TO DAWN LIGHTING AND DIMMING CAPABILITIES.

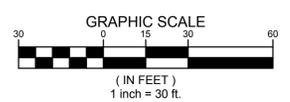
Fixture Type	Quantity	Manufacturer	Catalog Number	Description
E	1	SIGNIFY GARDCO	SSS-CB-4-7-25-D1-BZ	25' HEIGHT COLOR: BRONZE

Description	Avg.	Max.	Min.	Max./Min.	Avg./Min.
Driveway	1.20 fc	8.20 fc	0.30 fc	27.3:1	4.0:1
East Sidewalk	2.50 fc	8.30 fc	0.50 fc	12.2:1	5.0:1
West Sidewalk	2.10 fc	6.70 fc	0.30 fc	22.3:1	7.0:1

NOTE:
1. LIGHT PHOTOMETRY AND CALCULATIONS FOR ADJACENT LIGHTING TO REMAIN ARE NOT INCLUDED IN THE ABOVE STATISTICS.

NOTES:

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SOMERSET-UNION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
3. PERMANENT VEGETATION SHALL BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014.
5. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1).
8. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
9. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
11. IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
13. ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS A TWO- STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

PERMANENT STABILIZATION SPECIFICATIONS

1. APPLY TOPSOIL UNIFORMLY TO A DEPTH OF 5" (UNSETTLED).
 2. APPLY GROUND LIMESTONE UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 3. APPLY FERTILIZER (10-10-10) AT A RATE OF 11 LBS PER 1000 SQ. FT WITH 50% WATER INSOLUBLE NITROGEN WORKED INTO THE SOIL A MINIMUM OF 4".
 4. APPLY HARD FESCUE SEED AT 2.7 LBS. PER 1000 SQ. FT. AND CREEPING RED FESCUE SEED AT 0.7 LB. PER 1000 SQ. FT. AND PERENNIAL RYEGRASS SEED AT 0.25 LBS. PER 1000 SQ. FT.
 5. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 70 TO 90 LB. PER 1000 SQ. FT.
 6. ANCHOR MULCH BY APPROVED METHODS SUCH AS PEG AND TWINE, APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.
- NOTE:
1. 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE OF SUCH IN WRITING SHALL BE GIVEN TO THE BERGEN COUNTY SOIL CONSERVATION DISTRICT AND A PRE-CONSTRUCTION MEETING HELD.
 2. PLANT HARDINESS ZONE IS 6A.

TOPSOIL STOCKPILE PROTECTION

1. APPLY GROUND LIMESTONE AT A RATE OF 90 LBS. PER 1000 SQ. FT.
2. APPLY FERTILIZER (10-20-10) AT A RATE 11 LBS. PER 1000 SQ. FT.
3. APPLY PERENNIAL RYEGRASS SEED AT 1 LB. PER 1000 SQ. FT. AND ANNUAL RYEGRASS AT 1 LB. PER 1000 SQ. FT.
4. MULCH STOCKPILE WITH STRAW OR HAY AT A RATE OF 70 TO 90 LBS. PER 1000 SQ. FT.
5. APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH. 7. PROPERLY ENTRENCH A SILT FENCE AT THE BOTTOM OF THE STOCKPILE.

TEMPORARY STABILIZATION SPECIFICATIONS

1. APPLY GROUND LIMESTONE UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
2. APPLY FERTILIZER (10-20-10) AT A RATE OF 11 LBS PER 1000 SQ. FT WITH 50% WATER INSOLUBLE NITROGEN WORKED INTO THE SOIL A MINIMUM OF 4".
3. APPLY PERENNIAL RYEGRASS AT 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
4. MULCH STOCKPILE WITH UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE.
5. ANCHOR MULCH BY APPROVED METHODS SUCH AS PEG AND TWINE, APPLY A LIQUID MULCH BINDER OR TACK TO STRAW OR HAY MULCH.

SEEDING NOTES FOR NATURALIZING STEEP SLOPES AND DETENTION BASIN

I. SOIL PREPARATION

- A. THE SOIL SHALL BE TESTED BY AN ACCREDITED SOIL TESTING LABORATORY FOR SOIL ACIDITY (PH), AND SUBSEQUENTLY ADJUSTED, IF NECESSARY, TO LIE WITHIN THE RANGE OF PH 5.5 TO PH 7.5, WITH AN IDEAL PH OF 6.5.
- B. NITROGEN, PHOSPHORUS, AND POTASSIUM MAY BE APPLIED SEPARATELY OR IN ANY COMBINATION AS A STARTER FERTILIZER THAT IS NOT TO EXCEED THE FOLLOWING RATES:
- 1.0 LB. NITROGEN (N) PER 1000 SQ. FT. (44 LBS. PER ACRE)
 - 2.0 LBS. PHOSPHORUS (P) PER 1000 SQ. FT. (87 LBS. PER ACRE)
 - 2.0 LBS. POTASSIUM (K) PER 1000 SQ. FT. (87 LBS. PER ACRE)

STARTER FERTILIZER MAY BE DISTRIBUTED BY DROP OR ROTARY SPREADERS AND APPLIED UP TO 10 DAYS BEFORE SEEDING, OR AT THE TIME OF SEEDING, OR UP TO 5 DAYS AFTER SEEDING OPERATIONS ARE COMPLETED.

C. AREAS SHALL CONFORM TO THE CONTRACT SPECIFICATIONS OF THE FINISHED GRADE AND BE FREE OF PLANT GROWTH BEFORE SOIL PREPARATION IS BEGUN. IN SITES WHERE THE SLOPE IS SHALLOWER THAN 3:1, THE SOIL SHALL BE LOOSENED WITH ROTOTILLERS, DISK HARROWS, CHISEL PLOWS, RIPPERS, BULLDOZERS, OR OTHER SUITABLE SOIL PREPARATION EQUIPMENT TO A MINIMUM AVERAGE DEPTH OF 2.0 INCHES. IN SITES WHERE THE SLOPE IS 3:1 OR STEEPER, THE SOIL SHALL BE LOOSENED TO A DEPTH OF 0.5 TO 1.0 INCH. BULLDOZERS WHICH ARE USED TO LOOSEN THE SOIL SHALL LEAVE THE SURFACE WITH AN OPEN IRREGULAR SURFACE, AND WITH TRACK RIDGES THAT RUN PARALLEL TO THE SLOPE. SERRATED CUT SLOPES SHALL NOT BE LOOSENED, AND SHALL BE SEED IN VERTICAL INCREMENTS NOT WIDER THAN 50 FEET. ALL DEBRIS SUCH AS CLODS, LOOSE STONES, AND OTHER MATERIAL WITH A DIAMETER OVER 1.5 INCHES SHALL BE REMOVED BEFORE SEEDING IN OR NEAR RESIDENTIAL AREAS. IN OTHER AREAS, ONLY DEBRIS WITH A DIAMETER OVER 3.0 INCHES SHALL BE REMOVED.

II. SEEDING

A. EROSION CONTROL SEED MIXTURES AND BLENDS SHALL BE SELECTED AND PLANTED ACCORDING TO

TABLE A: SEED MIXES & BLENDS FOR EROSION CONTROL SEEDINGS

NOTE 1: WEEPING LOVEGRASS OR LEHMANN LOVEGRASS AT THE RATE OF 2.0 POUNDS PER ACRE (0.046 POUNDS PER 1000 FT2) OR FOXTAIL MILLET AT THE RATE OF 10.0 POUNDS PER ACRE (0.23 POUNDS PER 1000 FT2) SHALL BE ADDED TO THE EROSION CONTROL SEED MIXTURE OR SEED BLEND WHEN AN EROSION CONTROL SEED MIXTURE OR SEED BLEND IS PLANTED OUT OF SEASON IN THE MID-SUMMER MONTHS. CEREAL RYE AT THE RATE OF 56 POUNDS PER ACRE (1.0 BUSHELS OR 1.28 POUNDS PER 1000 FT2) SHALL BE ADDED TO THE EROSION CONTROL SEED MIXTURE OR SEED BLEND WHEN AN EROSION CONTROL SEED MIXTURE OR SEED BLEND IS PLANTED OUT OF SEASON FROM LATE FALL TO EARLY SPRING.

B. DISTRIBUTED SEED SHALL BE UNIFORMLY SPREAD IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER, USING ONE HALF THE TOTAL SEED TO BE DISTRIBUTED IN EACH DIRECTION. AFTER SEED IS DISTRIBUTED, THE SEED SHALL BE INCORPORATED INTO THE SOIL TO AN AVERAGE DEPTH OF 1/8 TO 1/4 INCH BELOW THE SOIL SURFACE. THE SEEDED AREAS ARE TO BE ROLLED WITH A WEIGHTED ROLLER AFTER SEEDING, SO THAT THE SEED IS PRESSED FIRMLY INTO THE SOIL.

C. STRAW AND HAY SEED MULCHES SHALL BE SPREAD UNIFORMLY OVER THE SOIL SURFACE AT A RATE OF 1.0 TO 2.0 TONS PER ACRE. THE STRAW OR HAY MULCH SHALL COVER A MINIMUM OF 80% OF THE SOIL SURFACE IN A LAYER FROM 0.5 TO 1.5 INCHES THICK WITH A MAXIMUM OF 10% OF THE SOIL SURFACE COVERED WITH STRAW OR HAY MULCH OVER 2.5 INCH IN THICKNESS. WHEN STRAW OR HAY MULCH IS SECURED INTO THE SOIL WITH A MULCH ANCHORING TOOL (STRAW CRIMPER), THE APPLICATION RATE OF STRAW OR HAY MULCH SHALL BE INCREASED TO 2.5 TONS PER ACRE.

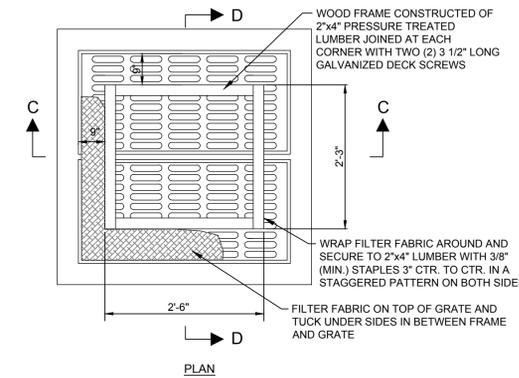
D. IN SITES WHERE THE EFFECTIVENESS OF STRAW OR HAY SEED MULCHES MAY BE REDUCED BY WIND OR WATER EROSION OR SLOPES EXCEEDING 3:1, STRAW OR HAY SEED MULCHES SHALL BE SECURELY ANCHORED TO THE SOIL AS SOON AS POSSIBLE AFTER THEY ARE DISTRIBUTED OVER THE SOIL SURFACE, OR BEFORE THE FIRST SIGNIFICANT RAINFALL BY USING BIODEGRADABLE MULCH NETTING. OTHER ACCEPTED ANCHORING METHODS MAY ALSO BE USED. IT SHALL BE THE RESPONSIBILITY OF THE SEEDING CONTRACTOR TO SELECT AND USE THOSE METHODS WHICH BEST PROTECT THE SOIL FROM LOSS BY EROSION, AND WHICH ENSURE THE MOST RAPID AND COMPLETE ESTABLISHMENT OF GERMINATING SEED.

SEED MIXES & BLENDS FOR EROSION CONTROL SEEDINGS

SEED MIX	SEED MIX SPECIES	SEED MIX RATE LBS./ACRE	SEED MIX RATE LBS./1000 SF
A	PERENNIAL RYE PLUS	20	0.45
	CROWN VETCH	25	0.6
	FLATPEA	25	0.6
B	WEEPING LOVEGRASS OR LEHMANN LOVEGRASS PLUS	3	0.1
	SERCIA LESPEDEZA	25	0.6

CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE AND TREE PROTECTION AS SHOWN ON PLAN 1 WEEK
2. INSTALL STABILIZED CONSTRUCTION ACCESS 1 WEEK
3. INSTALL INLET SEDIMENT FILTERS 1 WEEK
4. CLEAR AREA OF CONSTRUCTION INCLUDING TREE REMOVAL AND ROUGH GRADING 5 WEEKS
5. INSTALL INFRASTRUCTURE INCLUDING STORM SEWERS, INLETS AND UTILITIES; CONSTRUCT BASINS AND PROVIDE SEDIMENT FILTERS ON NEW INLETS 4 MONTHS
6. INSTALL NEW CURBING, PAVEMENT AND SIDEWALK 6 WEEKS
7. FINE GRADE, TOPSOIL, FERTILIZE AND SEED ALL DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING STANDARDS 5 WEEKS
8. INSTALL LANDSCAPING 4 WEEKS
9. REMOVE ALL SEDIMENT FILTERS, ACCUMULATED SEDIMENT, SILT FENCES, TREE PROTECTION 1 WEEK



CONSTRUCTION NOTES:

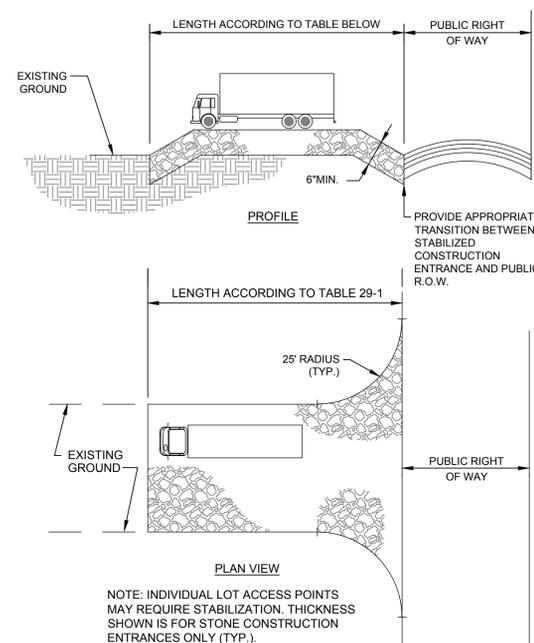
1. FILTER TO REMAIN UNTIL COMPLETION OF FINAL GRADING AND ESTABLISHMENT OF COVER. ALSO PERIODIC CHECKS MUST BE MADE AFTER EACH RAINFALL TO EXCAVATE AND REMOVE EXCESS SEDIMENT FROM AROUND INLETS.
2. FILTER FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL.
3. FOR A TYPE 'A' INLET, REDUCE WOOD FRAME DIMENSIONS BY HALF.

INLET PROTECTION NOTES:

1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
2. CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.
3. THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

INLET PROTECTION DETAIL

NOT TO SCALE



STABILIZED CONSTRUCTION ACCESS

NOT TO SCALE

DESIGN CRITERIA

STONE SIZE - USE ASTM C-33, SIZE NO. 2 (2 1/2 TO 1 1/2") OR 3 (2 TO 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE.

THICKNESS-NOT LESS THAN SIX (6) INCHES.

WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.

LENGTH-50 FEET MINIMUM WHERE THE SOILS ARE COARSE GRAINED

(SANDS OR GRAVEL) OR 100 FEET MINIMUM WHERE SOILS ARE FINE GRAINED (CLAYS OR SILTS), EXCEPT WHERE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY. THESE LENGTHS MAY BE INCREASED WHERE FIELD CONDITIONS DICTATE. STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED PAD (SEE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NJ" FOR DIVERSIONS, PG. 15-1). WHERE DIVERSION IS NOT POSSIBLE, THE LENGTH OF THE STABILIZED PAD SHALL BE AS SHOWN IN TABLE BELOW. WHERE THE SLOPE OF THE ACCESS ROAD EXCEEDS 5%, A STABILIZED BASE COURSE OF FINE AGGREGATE BITUMINOUS CONCRETE (FABC) SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE FABC AND USE OF A DENSE GRADE AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR OTHER GOVERNING AUTHORITY. AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE.

TABLE OF LENGTHS OF CONSTRUCTION EXITS ON SLOPING ROADBEDS

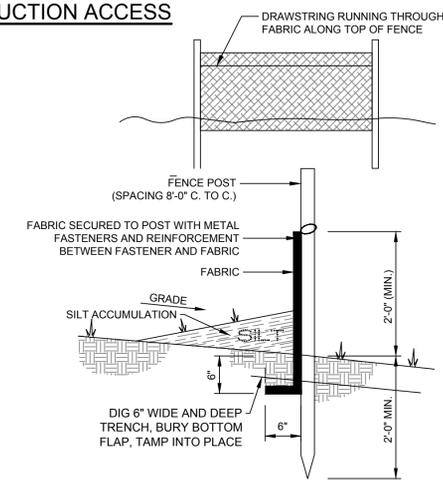
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COARSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE (NOTE 1)	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE (NOTE 1)

1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.

MAINTENANCE

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

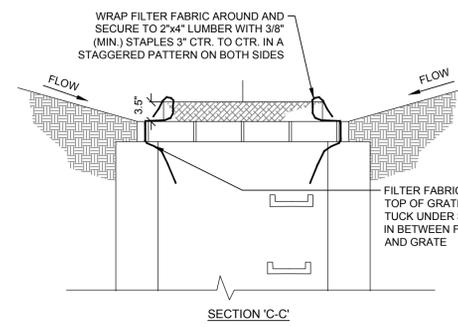


NOTES:

1. FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
2. A METAL FENCE WITH 6 INCHES OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
3. A GEOTEXTILE FABRIC RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.

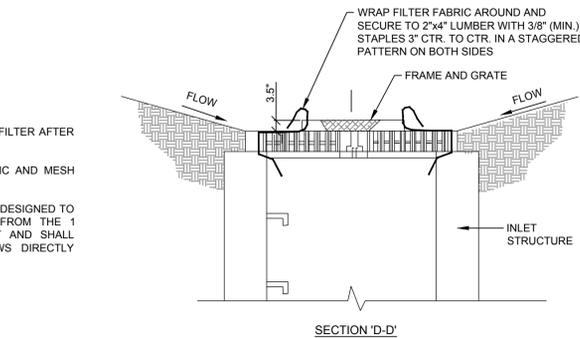
SILT FENCE DETAIL

NOT TO SCALE



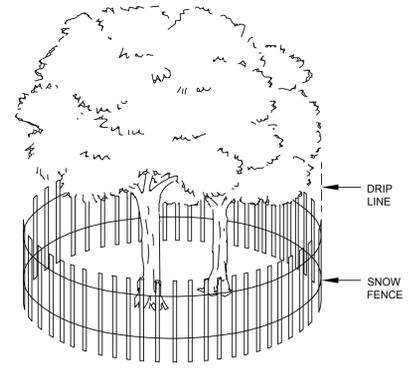
TEMPORARY STOCKPILE

NOT TO SCALE



TREE PROTECTION DETAIL

NOT TO SCALE



REV. / ISSUE	DATE	DESCRIPTION
1	06/18/2023	P.B. SUBMISSION

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CERTIFICATE OF AUTHORIZATION NO. 24G48032700

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ADOLF MONTANA, P.E.
PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

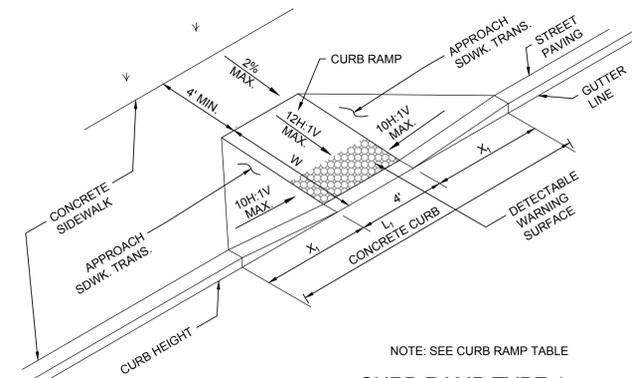
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PROJECT
BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE
SOIL EROSION AND
SEDIMENT CONTROL
NOTES AND DETAILS

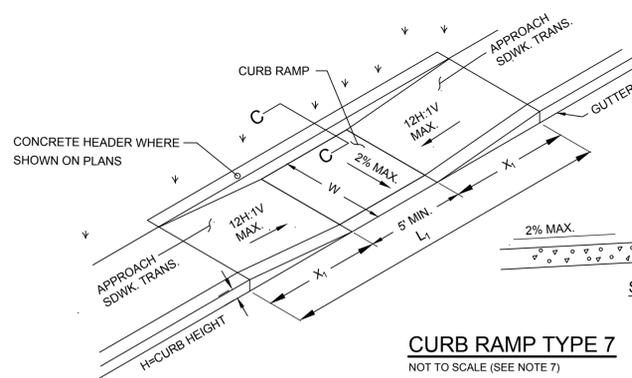
PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: NONE CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 16 OF 22
SHEET NO. C-16

FILE NAME: P:\05574\0003\DWG\Civil\Proposed\Soil Erosion\Sediment Control\SHEET 16.DWG LAST EDITED: 06/19/2023 11:08:16 AM LOGIN: emontana



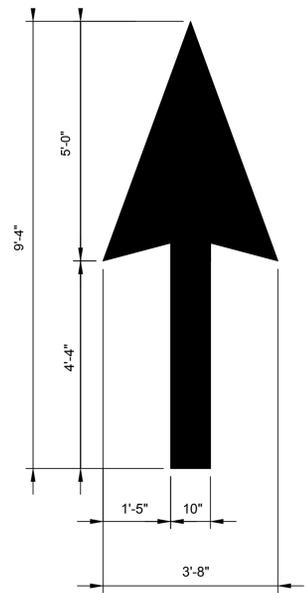
CURB RAMP TYPE 1			
H INCHES	X ₁ FEET	L ₁ FEET	W FEET
3	2.5	9.0	3
4	3.3	10.6	4
5	4.2	12.4	5
6	5.0	14.0	6
7	5.8	15.6	7
8	6.7	17.4	8
9	7.5	19.0	9

CURB RAMP TYPE 1
NOT TO SCALE



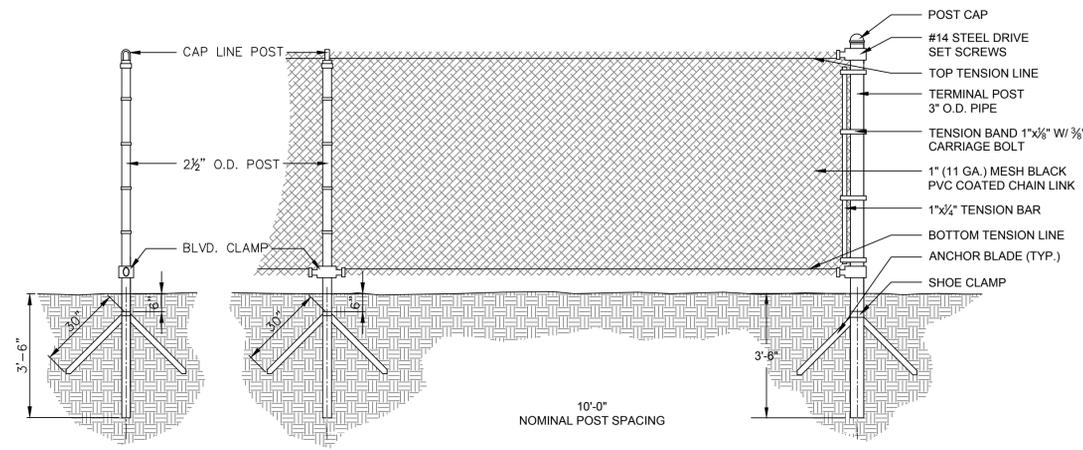
CURB RAMP TYPE 7			
W FEET	H INCHES	X ₁ FEET	L ₁ FEET
4 MIN. 6 MAX.	3	3	11
	4	4	13
	5	5	15
	6	6	17
	7	7	19
	8	8	21
	9	9	23

CURB RAMP TYPE 7
NOT TO SCALE (SEE NOTE 7)



NOTE:
PAINT TO BE WHITE THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING, COMPLYING WITH REQUIREMENTS OF NJDOT SPECIFICATION ITEM 912

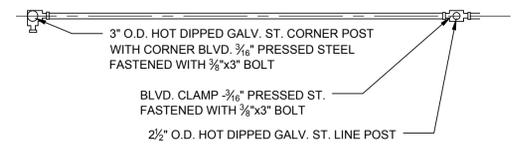
DIRECTIONAL ARROW PAVING DETAIL
NOT TO SCALE



SECTION

ELEVATION

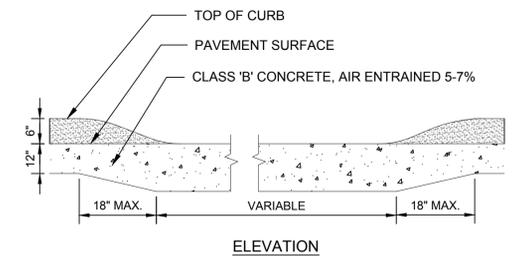
- NOTES:
- ALL POSTS AND PIPES TO BE SCHEDULE 40 (ASTM-F283).
 - DRIVE ANCHOR SYSTEM BY ANCHOR FENCE OR APPROVED EQUAL.



PLAN

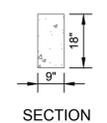
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR OF OBSTRUCTIONS.
- DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES TO BE PAID FOR AS VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- THE PUBLIC SIDEWALK CURB RAMP, DETECTABLE WARNING SURFACE (SHADED AREA) SHALL BE SAFETY RED COLOR ON CONCRETE OR 70% COLOR CONTRAST FOR OTHER SURFACE SUCH AS BRICK.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED, SEE PLANS.
- PREFERRED AND ALTERNATE TREATMENTS SHOULD NOT BE INTERMIXED WITHIN THE SAME INTERSECTION.
- DIMENSIONS SHOWN IN TABLES ARE FOR 3 INCH TO 9 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMPS WILL HAVE TO BE CALCULATED BASED ON CROSS SLOPES SHOWN.

ADA RAMPS NOTES
NOT TO SCALE

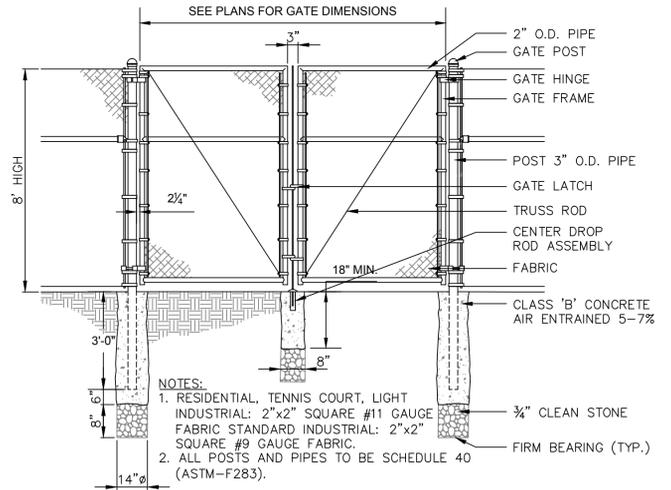


ELEVATION

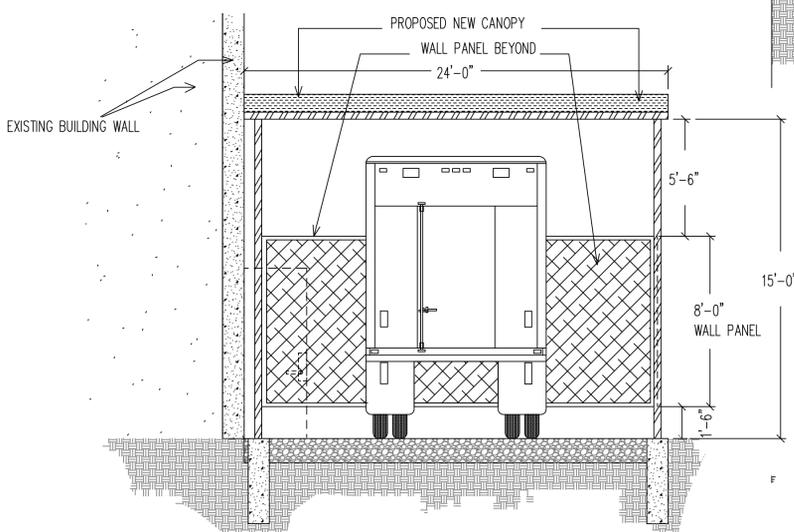
FLUSH CURB
NOT TO SCALE



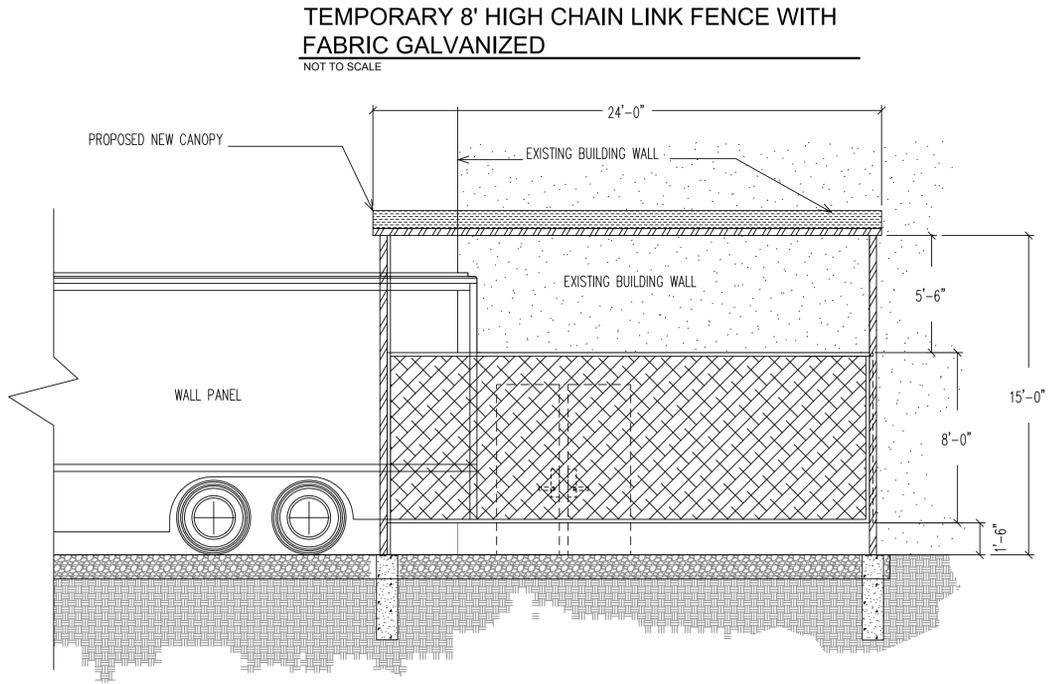
SECTION



8' CHAIN LINK GATE DETAIL
NOT TO SCALE



FRONT VIEW AT CANOPY
NOT TO SCALE



SIDE VIEW AT CANOPY
NOT TO SCALE

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1	06/16/2023	P.B. SUBMISSION

CONSULTANT

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CERTIFICATE OF AUTHORIZATION NO. 24G428032700

ADOLF MONTANA, P.E.
PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978

6/19/23
DATE

PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

SITE DETAILS

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: NONE CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 18 OF 22
SHEET NO.

REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

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ADOLF MONTANA, P.E.
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N.J. LIC. NO. 46978

6/19/23
DATE

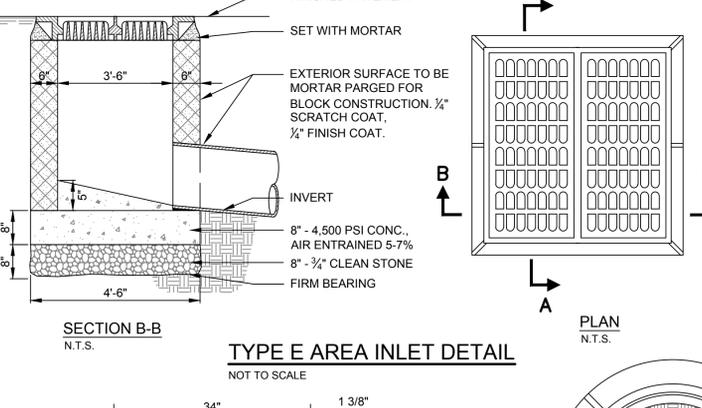
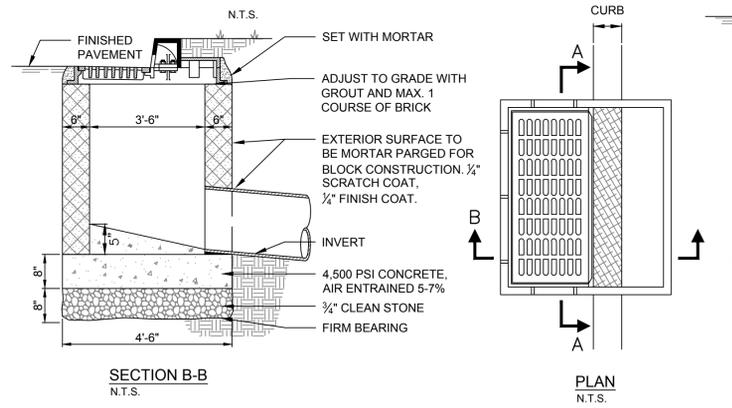
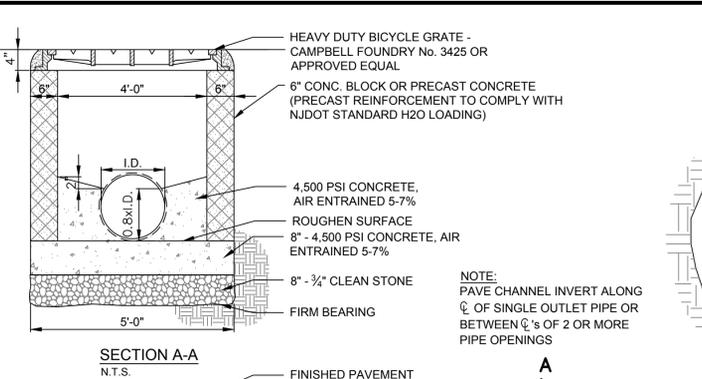
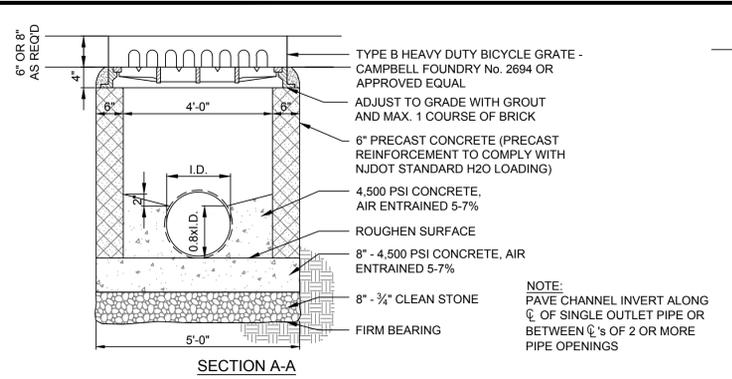
PROJECT

**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE

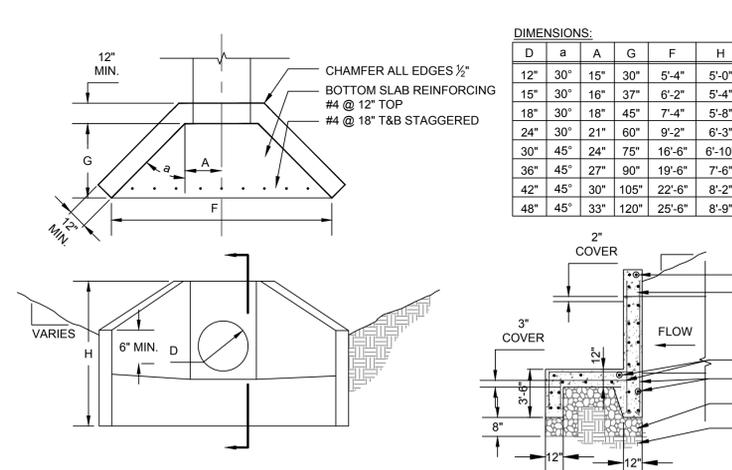
STORMWATER DETAILS

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: NONE CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 19 OF 22
SHEET NO.



TYPE B INLET DETAIL
NOT TO SCALE

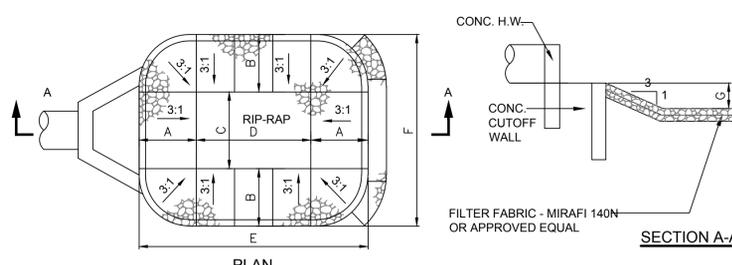
TYPE E AREA INLET DETAIL
NOT TO SCALE



STANDARD MANHOLE COVER & FRAME DETAIL
NOT TO SCALE

- NOTES:
- ALL PRECAST CONCRETE STRUCTURES, CONCRETE BLOCK, OR FORM-IN-PLACE CONCRETE SHALL BE MADE OF NJDOT 4,500 PSI CONCRETE WITH 5% TO 7% AIR ENTRAINMENT.
 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NEW JERSEY.

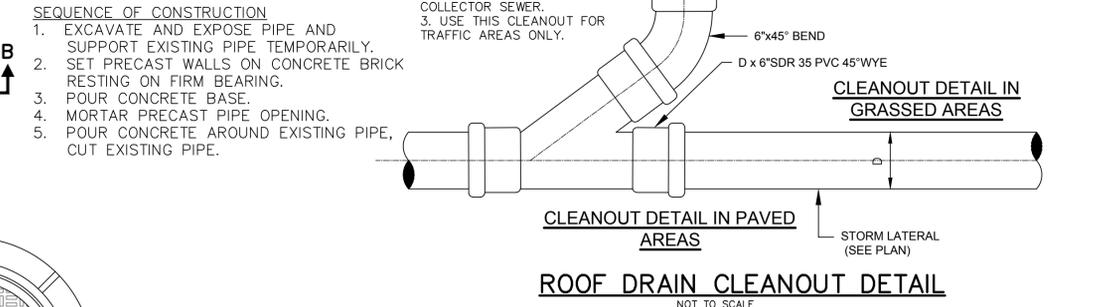
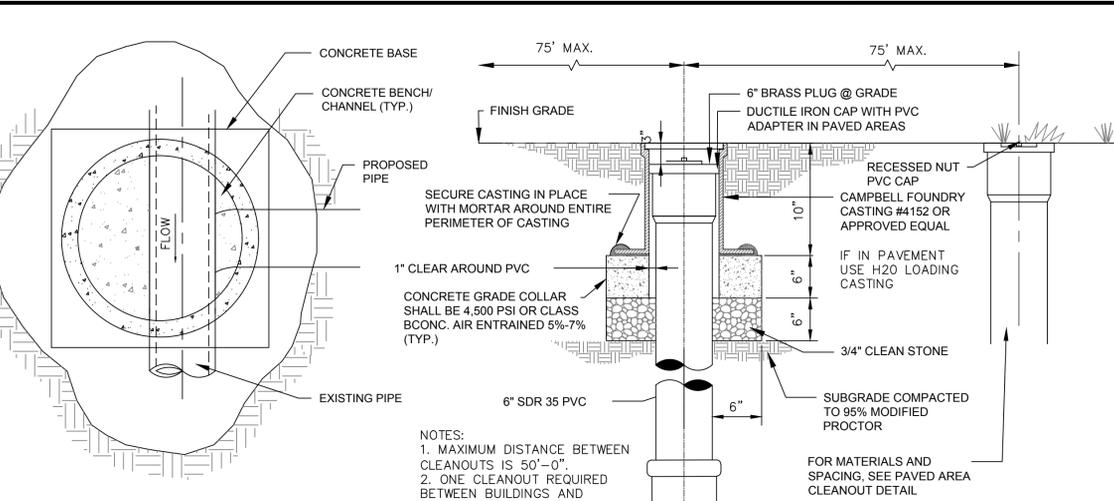
CONCRETE HEADWALL
NOT TO SCALE



PLAN

HW ID	STORM EVENT	Q (cfs)	D ₅₀	A	B	C	D	E	F	G	H	D ₅₀
HW 109	100 YR	15.22	30"	3.75'	3.75'	5'	7.5'	15'	12.5'	1.25'	12"	6"
HW 211	100YR	12.27	24"	3'	3'	4'	6'	12'	10'	1'	12"	6"
HW 404	100YR	1.83	12"	3"	1.5"	2"	3"	6"	5"	0.5"	12"	6"

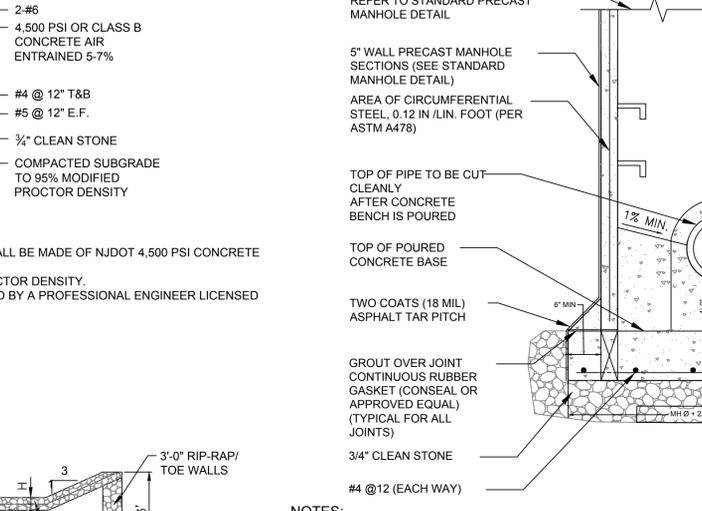
PREFORMED SCOUR HOLE DETAIL
NOT TO SCALE



ROOF DRAIN CLEANOUT DETAIL
NOT TO SCALE

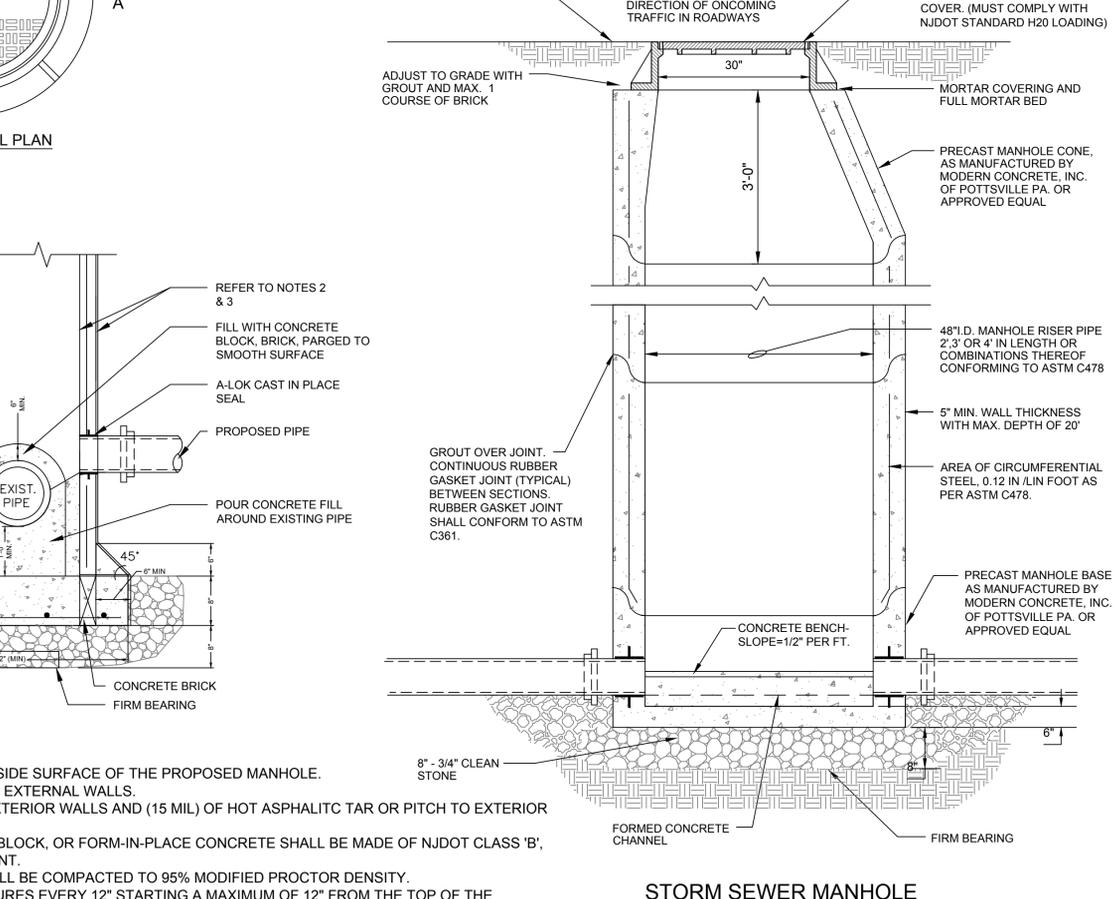
- NOTES:
- PROPOSED STORM SEWER SHALL BE FLUSH WITH INSIDE SURFACE OF THE PROPOSED MANHOLE.
 - PRECAST UNITS, APPLY (18 MIL) OF CARBOLINE 50 TO EXTERNAL WALLS.
 - BLOCK UNITS, APPLY 1/2" PARGING TO INTERIOR & EXTERIOR WALLS AND (15 MIL) OF HOT ASPHALTIC TAR OR PITCH TO EXTERIOR WALLS.
 - ALL PRECAST CONCRETE STRUCTURES, CONCRETE BLOCK, OR FORM-IN-PLACE CONCRETE SHALL BE MADE OF NJDOT CLASS 'B', 4,000 PSI CONCRETE WITH 5% TO 7% AIR ENTRAINMENT.
 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - LADDER RUNGS SHALL BE PROVIDED IN ALL STRUCTURES EVERY 12" STARTING A MAXIMUM OF 12" FROM THE TOP OF THE CONCRETE INFILL TO WITHIN NO MORE THAN 24" FROM THE GRATE.
 - INSTALL LADDER RUNGS ON SIDE FACING TRAFFIC.
 - LADDER RUNGS TO COMPLY WITH ASTM C478 OR SPECIFIED DETAIL.
 - STRUCTURE SHALL BE INSTALLED ON 8" THICK PAD OF " CLEAN STONE INSTALLED ON FIRM BEARING.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE, INDICATING THAT THE STRUCTURE IS DESIGNED FOR HS-25 LOADING.
 - PAVE CHANNEL INVERT ALONG C.C. OF SINGLE OUTLET PIPE OR BETWEEN C.C.'S OF 2 OR MORE PIPE OPENINGS

DOGHOUSE MANHOLE (STORM SEWER)
NOT TO SCALE

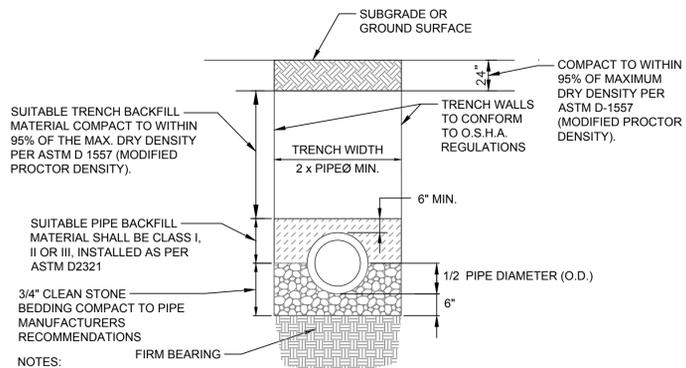


- NOTES:
- PROPOSED STORM SEWER SHALL BE FLUSH WITH INSIDE SURFACE OF THE PROPOSED MANHOLE.
 - PRECAST UNITS, APPLY (18 MIL) OF CARBOLINE 50 TO EXTERNAL WALLS.
 - BLOCK UNITS, APPLY 1/2" PARGING TO INTERIOR & EXTERIOR WALLS AND (15 MIL) OF HOT ASPHALTIC TAR OR PITCH TO EXTERIOR WALLS.
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 - UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - LADDER RUNGS SHALL BE PROVIDED IN ALL STRUCTURES EVERY 12" STARTING A MAXIMUM OF 12" FROM THE TOP OF THE CONCRETE INFILL TO WITHIN NO MORE THAN 24" FROM THE GRATE.
 - INSTALL LADDER RUNGS ON SIDE FACING TRAFFIC.
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 - STRUCTURE SHALL BE INSTALLED ON 8" THICK PAD OF " CLEAN STONE INSTALLED ON FIRM BEARING.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL STRUCTURES, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE, INDICATING THAT THE STRUCTURE IS DESIGNED FOR HS-25 LOADING.
 - PAVE CHANNEL INVERT ALONG C.C. OF SINGLE OUTLET PIPE OR BETWEEN C.C.'S OF 2 OR MORE PIPE OPENINGS

DOGHOUSE MANHOLE (STORM SEWER)
NOT TO SCALE



STORM SEWER MANHOLE
NOT TO SCALE

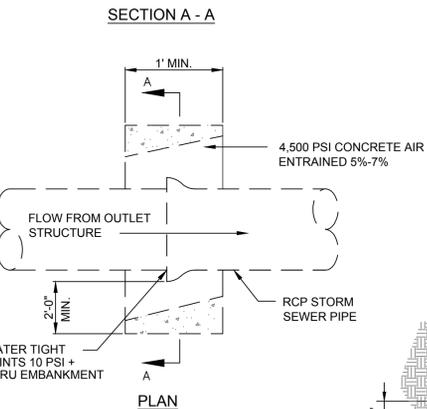
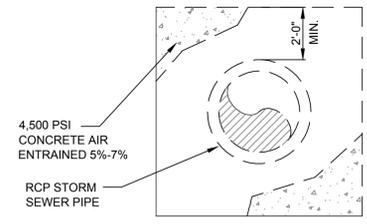


- NOTES:
- TRENCH WIDTH SHALL BE A MINIMUM OF 1' EACH SIDE PLUS THE OUTSIDE DIAMETER OF THE PIPE. TRENCH WIDTH SHALL NOT EXCEED THAT REQUIRED FOR PROPER INSTALLATION BACKFILL AND COMPACTION OPERATIONS.
 - ALL SUITABLE BACKFILL AND SAND BEDDING SHALL BE AS PER SPECIFICATIONS AND APPROVED BY THE RESIDENT ENGINEER PRIOR TO INSTALLATION.
 - IN LIEU OF 3/4" CLEAN STONE FOR PIPE BEDDING, SAND MAY BE UTILIZED FOR PVC AND HDPE PIPE BEDDING.

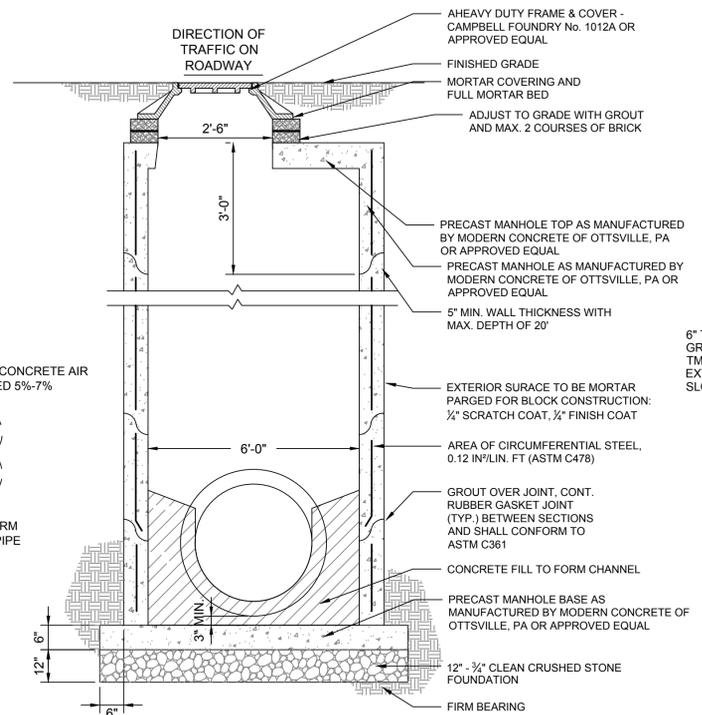
TYPICAL PIPE BEDDING DETAIL FOR STORM AND SANITARY SEWERS
NOT TO SCALE

CONSTRUCTION REQUIREMENTS:

- DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF A PROPOSED INFILTRATION BASIN.
- THE LOCATION OF THE PROPOSED BIORETENTION BASIN MUST BE CORDONED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
- THE USE OF THE LOCATION PROPOSED FOR A BIORETENTION BASIN TO PROVIDE SEDIMENT CONTROL DURING CONSTRUCTION IS DISCOURAGED; HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE SEDIMENT CONTROL BASIN MUST BE AT LEAST 2 FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BASIN BOTTOM.
- EXCAVATION AND CONSTRUCTION OF A BIORETENTION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
- THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE BIORETENTION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN ITS DRAINAGE AREA IS COMPLETED AND THE DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE BIORETENTION BASIN CANNOT BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE DRAINAGE AREA IS COMPLETED, AND THE AREA IS STABILIZED.
- THE CONTRIBUTING DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO BIORETENTION BASIN USE.



ANTI-SEEP COLLAR DETAIL
NOT TO SCALE

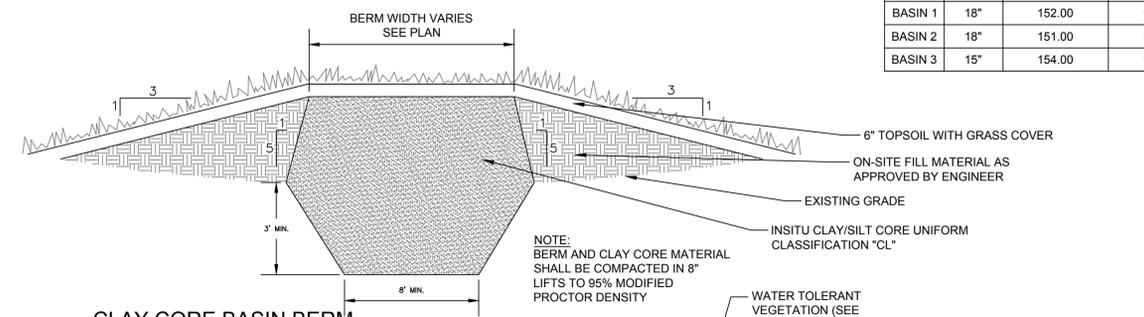


- NOTE:
- ALL MANHOLES SHALL BE DESIGNED TO WITHSTAND AASHTO H20 LOADS.
 - CONTRACTOR TO SUBMIT SHOP DRAWING, PREPARED BY A NJ LICENSED ENGINEER, CONFIRMING THAT STRUCTURES ARE DESIGNED TO ACCOMMODATE AASHTO HS-25 LOADING.
 - ENTIRE STRUCTURE SHALL BE PRE-CAST CONCRETE.
 - WATER TIGHT PIPE TO MANHOLE CONNECTOR BOOTS ARE TO BE PROVIDED AT STORM SEWER CONNECTIONS TO DRAINAGE STRUCTURES.
 - PROPOSED DRAINAGE SYSTEM TO BE WATER TIGHT. ALL CONNECTIONS, PIPE TO PIPE, PIPE TO STRUCTURE, ETC., SHALL BE WATER TIGHT. CONTRACTOR TO PROVIDE SUBMITTAL DETAILING HOW SYSTEM WILL BE CONSTRUCTED WATER TIGHT.

OVERSIZED MANHOLE DETAIL
NOT TO SCALE

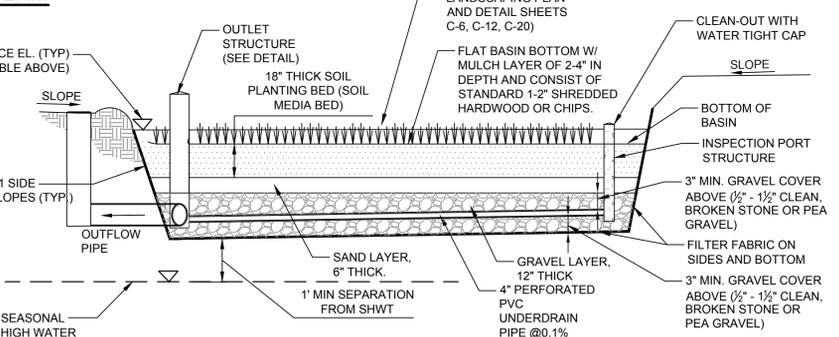
OUTLET CONTROL STRUCTURE SCHEDULE

BASIN ID	OUTLET PIPE Ø	OUTLET PIPE ELEVATION	4" UNDERDRAIN PIPE INVERT (INTO STRUCTURE)	ORIFICE	ORIFICE ELEVATION @ WQDS W.S.E.	WEIR LENGTH	WEIR HEIGHT	WEIR ELEVATION
BASIN 1	18"	152.00	152.25	(2X) 5" Ø	155.84	2.00'	2.5'	157.00
BASIN 2	18"	151.00	151.25	(2X) 5" Ø	154.83	2.50'	1.25'	156.25
BASIN 3	15"	154.00	154.25	2.5" Ø	157.31	2.00'	1.25'	158.25



CLAY CORE BASIN BERM
NOT TO SCALE

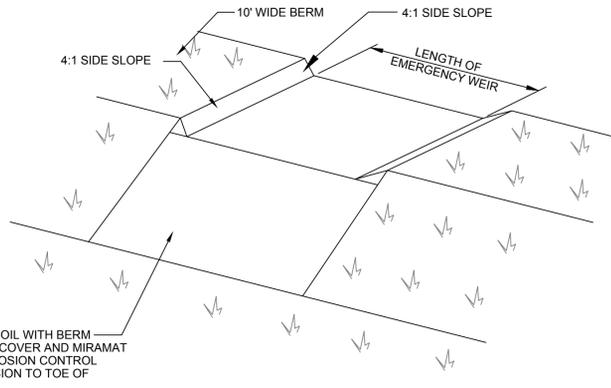
- NOTES:
- SOIL BED MATERIAL MUST CONSIST OF FOLLOWING MIX:
 - A. pH RANGE: 5.5-6.5%
 - B. ORGANIC MATTER: 3-7% BY WEIGHT
 - C. MAGNESIUM MIN 32 PPM
 - D. PHOSPHORUS (PHOSPHATE) - MAX 69 PPM
 - E. POTASSIUM - MIN 78 PPM
 - F. SOLUBLE SALTS - MAX 500 PPM
 - G. CLAY - 2-5 MAX. %
 - H. SILT - MAX. 15%
 - I. SAND 85-95% WITH NO MORE THAN 25% OF THE SAND AS FINE OR VERY FINE SANDS.
 - J. GRAVEL CONTENT LESS THAN 5%.
 - K. FREE OF BROKEN GLASS, PAINT CHIPS, PLASTIC, AND OTHER DEBRIS
 - SOIL MIX TO BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN NJ
 - SOIL BED LIFTS NOT TO EXCEED 8 INCHES FOR LARGE SCALE BIORETENTION BASINS AND 6" FOR SMALL SCALE BIORETENTION BASINS
 - SEE LANDSCAPING PLAN FOR VEGETATION MATERIAL AND QUANTITIES
 - OUTLET STRUCTURE SHALL BE A CATCH BASIN TYPE STRUCTURE (SEE DETAIL), WITH REMOVABLE OR HINGED OVERFLOW GRATE



BIORETENTION BASIN ELEVATIONS SCHEDULE

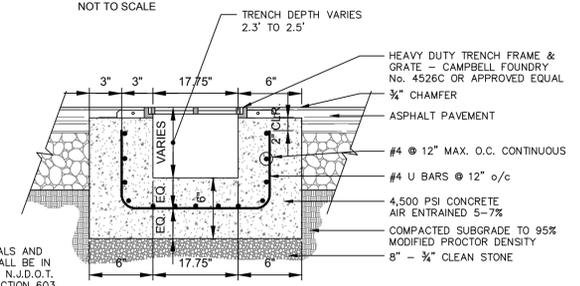
BASIN ID	BASIN BOTTOM	SOIL LAYER BOTTOM	SAND LAYER BOTTOM	GRAVEL LAYER BOTTOM	WQ W.S.E.	2 YEAR W.S.E.	10 YEAR W.S.E.	100 YEAR W.S.E.
BASIN 1	155.00	153.50	153.00	152.00	155.84	156.58	157.25	157.99
BASIN 2	154.00	152.50	152.00	151.00	154.83	155.50	156.20	156.90
BASIN 3	157.00	155.50	155.00	154.00	157.31	157.69	158.24	158.65

BIORETENTION SYSTEM PROFILE VIEW DETAIL
NOT TO SCALE

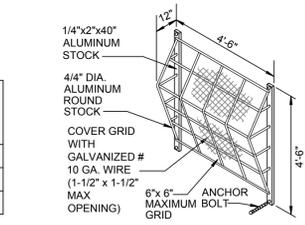


DETENTION BASIN	BERM CREST EL.	EMERG. SPILLWAY EL.	LGTH. EMERG. WEIR
BASIN 1	160.00	159.50	30.0'
BASIN 2	158.00	157.50	30.0'
BASIN 3	160.00	159.50	10.0'

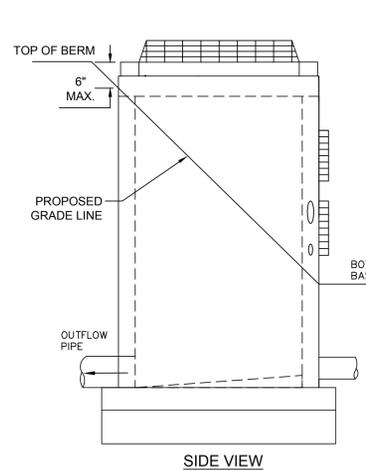
BASIN EMERGENCY SPILLWAY
NOT TO SCALE



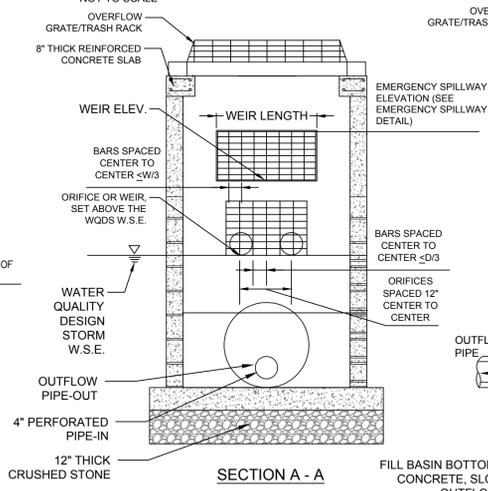
TRENCH DRAIN
NOT TO SCALE



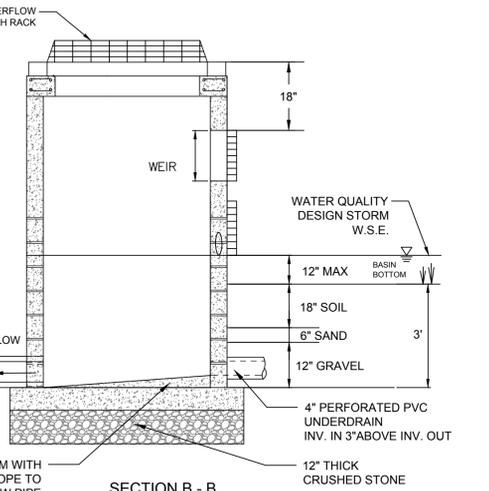
OVERFLOW GRATE/TRASH RACK (FOR OUTLET STRUCTURE)
NOT TO SCALE



SIDE VIEW



SECTION A - A



SECTION B - B

- GENERAL NOTES:
- FOOTER TO BE NJSHD CLASS "D" CONCRETE.
 - INVERT TO BE CLASS "C" CONCRETE.
 - IF WALL CONSTRUCTION IS OTHER THAN CONCRETE, THE WALLS SHALL BE PLASTERED BOTH INSIDE AND OUTSIDE WITH 1/2" THICK CEMENT PLASTER.
 - FRAME AND GRATE TO BE NO. 1303 AS MANUFACTURED BY CAMPBELL FOUNDRY CO. OR EQUAL.
 - WHEN ADDITIONAL DEPTH IS SCHEDULED, WALLS BELOW THE DEPTH AT 8'-0" MEASURED FROM THE INLET GUTTER TO INVERT, SHALL BE THE FOUNDATION DIMENSION SHALL BE INCREASED 12" IN WIDTH AND TO 12" IN DEPTH.
 - SHOP DRAWINGS TO BE PROVIDED FOR APPROVAL OF ENGINEER.
 - OUTLET STRUCTURES ARE TO BE PRE-CAST OR CAST-IN-PLACE. IF THE OUTLET STRUCTURES WILL BE PRE-CAST, THE STRUCTURAL CALCULATIONS AND SHOP DRAWINGS PREPARED BY THE PRE-CAST MANUFACTURERS MUST BE SUBMITTED FOR COUNTY APPROVAL.

BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE

REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT



PAULUS, SOKOLOWSKI AND SARTOR, LLC.

3 MOUNTAINVIEW ROAD
P.O. BOX 4039
WARREN, NJ 07059
PHONE: (732) 560-9700
CERTIFICATE OF AUTHORIZATION NO. 24GAC28032700

ADOLF MONTANA, P.E.
PROFESSIONAL ENGINEER
N.J. LIC. NO. 46978
6/19/23
DATE

PROJECT
**BUILDING 1000
PARKING LOT AND BUILDING
ADDITION IMPROVEMENTS**
BLOCK No. 2, LOT No. 18
BOROUGH OF RARITAN
SOMERSET COUNTY, NEW JERSEY

SHEET TITLE
STORMWATER DETAILS

PROJECT NO.: 05574.0003 DRAWN BY: R.E.
SCALE: NONE CHECKED BY: A.M.
DATE: 06-02-2023 SHEET 20 OF 22
SHEET NO. **C-20**

GENERAL LANDSCAPE PLANTING NOTES:

- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
- STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
- NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR, AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED.
- THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND SUBGRADE DRAINAGE OR PERCOLATION CHARACTERISTICS, WHETHER THE SUBGRADE SOILS ARE EXISTING TO REMAIN OR IMPORTED AND PLACED. CONTRACTOR TO ENSURE POSITIVE VERTICAL DRAINAGE THROUGHOUT PLANTED AREAS. DISCREPANCIES SHALL BE ADDRESSED WITH THE PROJECT LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANT MATERIALS.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE FINISH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 - JUNE 15 OR AUGUST 15 - NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.
- ALL FENCE AND GUIDE RAIL INSTALLATIONS SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN GRASSES, OR IRRIGATION WORK.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF CONSTRUCTION. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
- LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, MISSING, 25% OR MORE DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES DEAD, OR REJECTED FOR ANY OTHER REASON (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
- DELIVERY, STORAGE, AND HANDLING
A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BIND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND UNWASH SURFACES PRIOR TO PLANTING OR MULCHING.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- CONTRACTOR'S GUARANTEE: ALL PLANTINGS AND PLANTING AREAS SHALL BE PERMANENTLY MAINTAINED. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, PRUNING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR THE DURATION OF THE GUARANTEED PERIOD. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24- HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
- AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
- ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST. MULCH SHALL BE A FIBROUS SHREDDED HARDWOOD MULCH. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
- LANDSCAPE PUNCH LIST SITE VISITS TO BE PERFORMED BY THE PROJECT LANDSCAPE ARCHITECT, IF UNDER CONTRACT FOR SUCH WORK, WILL NOT BE SCHEDULED UNTIL CONFIRMATION IS RECEIVED THAT ALL PROPOSED LANDSCAPE ITEMS HAVE BEEN INSTALLED, OR DEFICIENCIES NOTED IN THE PRIOR PUNCH LIST REPORT HAVE BEEN CORRECTED. THE PUNCH LIST SITE VISIT WILL THEN BE PERFORMED WITHIN 10 BUSINESS DAYS.
- FALL DIGGING HAZARDS:
IT IS VERY RISKY TO TRANSPLANT THE FOLLOWING LIST OF TREES IN THE FALL:

BETULA VARIETIES	HALSEA VARIETIES	OSTRYA
CARPINUS VARIETIES	ILEX OPACA VARIETIES	PRUNUS - ALL STONE FRUITS
CELTIS VARIETIES	KOELREUTERIA PANICULATA	PYRUS VARIETIES
CERCIDIPHYLLUM VARIETIES	LIQUIDAMBAR VARIETIES	QUERCUS - ALL OAKS EXCEPT Q. PALUSTRIS
CORNUS FLORIDA & VARS.	LIRODENDRON VARIETIES	SALIX - WEEPING VARIETIES
CRATAEGUS VARIETIES	MALUS - IN LEAF	SORBUS VARIETIES
FAGUS VARIETIES	NYSSA SYLVATICA	TILIA TOMENTOSA VARIETIES
ZELKOVA VARIETIES		

THE CONTRACTOR WILL ASSUME RESPONSIBILITY FOR PLANT SURVIVAL OF THE ABOVE MATERIALS IF MOVED DURING THE FALL SEASON.

PLANTING SOIL SPECIFICATIONS

- PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.
- PLANTING SOIL:
REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.
SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.
CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPULIN UNTIL TIME OF ACTUAL USE.
ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.
 - THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
 - PARTICLE SIZE ANALYSIS - LOAMY SAND: 60-75% SAND, 25-40% SILT, AND 5-15% CLAY.
 - FERTILITY ANALYSIS: pH (5.5-6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
 - ORGANIC MATTER CONTENT: 2.5-5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
 - TOXIC SUBSTANCE ANALYSIS
 - MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
 - NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE
 - SOIL AMENDMENT FOR PLANT MATERIAL:
IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6-8; MOISTURE CONTENT 35-55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.
 - ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60-90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".
 - SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.
 - AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
 - GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS
 - BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS
 - BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
 - TERRA-SORB BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER MIXTURE WITH TREES AND SHRUBS.
 - MYCOR-ROOT SAVER BY "PLANT HEALTH CARE" 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.
 - WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.
 - CLEAN SOIL FILL IN LANDSCAPE AREAS:
LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 - 7.
 - SOIL PLACEMENT:
A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL. AT THE DEPTHS INDICATED ABOVE, PLANTING SOIL SHALL BE PLACED IN 12" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.
 - SOIL CONDITIONING:
A. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.
B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
 - THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR CYPRESS CONIFER SAND (MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

LAWN SEED MIX

- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:

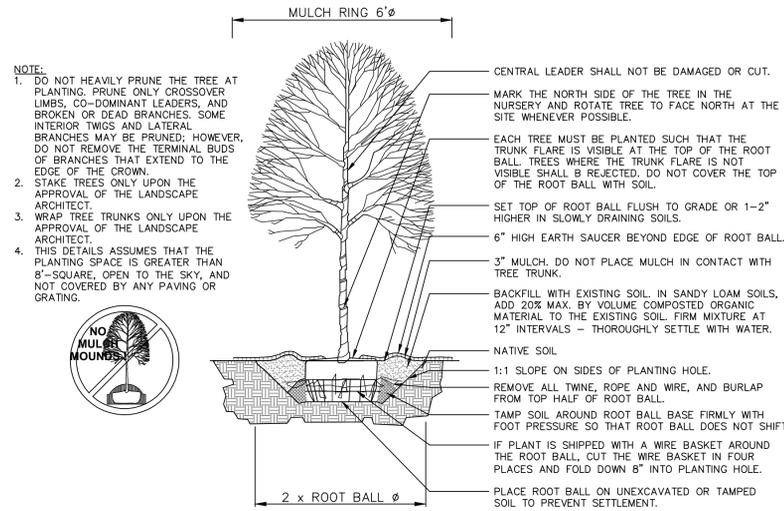
PERENNIAL RYEGRASS	0.25 LB/1000 SQ FT
KENTUCKY BLUEGRASS	1.25 LB/1000 SQ FT
RED FESCUE	1.25 LB/1000 SQ FT
SPREADING FESCUE	0.5 LB/1000 SQ FT
- SEEDING DATES FOR THIS MIXTURE SHALL BE BETWEEN MARCH 15TH TO MAY 15TH OR AUGUST 15TH TO OCTOBER 30TH.
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL A STAND OF COVER IS ESTABLISHED AND FOUND ACCEPTABLE TO THE OWNER. SEE LAWN WATERING SCHEDULE NOTES.

BIORETENTION SEED MIX A - ERNMX-126 by Ernst Conservation Seeds

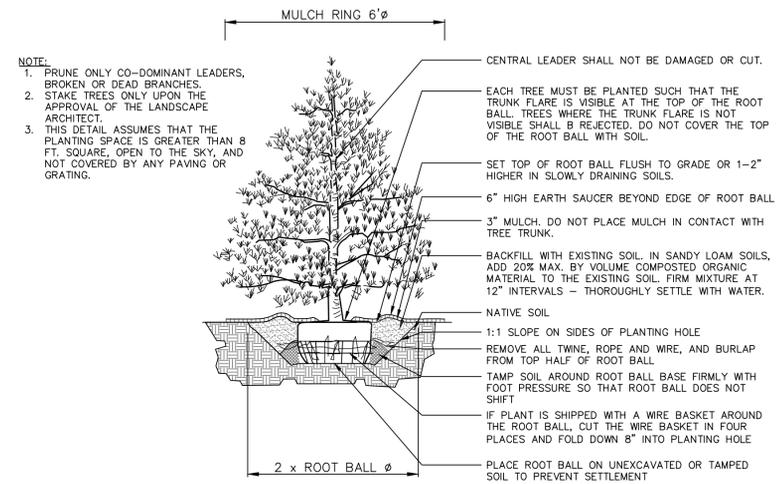
- PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 1/2" DIAMETER.
- PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- SEEDING RATES:

20.00 %	PANICUM GLANDESTINUM, TOGA	DEERTONGUE, TOGA
20.00 %	PUCCINELLIA DISTANS, FULTS	ALKALIGRASS, FULTS
18.00 %	ELYMUS VIRGINICUS, MADISON-NY ECOTYPE	VIRGINIA WILDRYE, MADISON-NY ECOTYPE
15.00 %	AGROSTIS STOLONIFERA, "PENNCROSS"	CREeping BENTGRASS, "PENNCROSS"
15.00 %	POA PALUSTRIS	FOWL BLUEGRASS
10.00 %	CAREX VULPINOIDEA, PA ECOTYPE	FOX SEDGE, PA ECOTYPE
1.00 %	CAREX SCOPARIA, PA ECOTYPE	BLUNT BROOM SEDGE, PA ECOTYPE
1.00 %	JUNCUS EFFRUSUS	SOFT RUSH

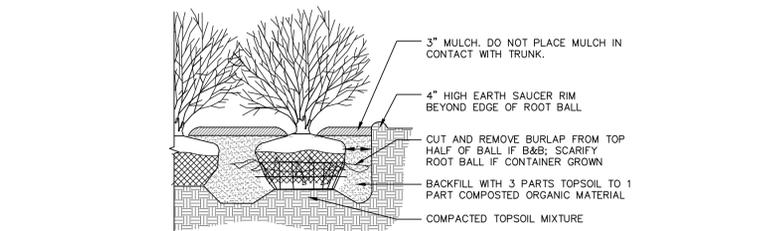
20-40 LBS PER ACRE, OR 0.5-1 LB/1,000 SQ FT WITH A COVER CROP. FOR A COVER CROP USE ONE OF THE FOLLOWING: GRAIN RYE (1 SEP TO 30 APR; 30 LBS/ACRE), JAPANESE MILLET (1 MAY TO 31 AUG; 10 LBS/ACRE), OR BARNYARD GRASS (1 MAY TO 31 AUG; 10 LBS/ACRE).
- GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL A STAND OF COVER IS ESTABLISHED AND FOUND ACCEPTABLE TO THE OWNER. SEE LAWN WATERING SCHEDULE NOTES.



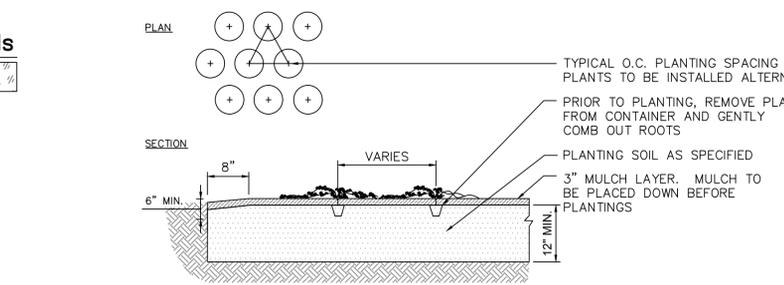
1. TREE PLANTING DETAIL
SCALE: N.T.S.



2. EVERGREEN TREE PLANTING DETAIL
SCALE: N.T.S.



3. SHRUB PLANTING DETAIL - B&B OR CONTAINER GROWN
SCALE: N.T.S.



4. GROUNDCOVER / ORNAMENTAL GRASS PLANTING DETAIL - CONTAINER GROWN
SCALE: N.T.S.

REV. / ISSUE	DATE	DESCRIPTION
1	06/16/2023	P.B. SUBMISSION

CONSULTANT

ORIENTATION / KEY PLAN

CLIENT

Johnson-Johnson

PAULUS, SOKOLOWSKI AND SARTOR, LLC.
PS&S
 3 MOUNTAINVIEW ROAD
 P.O. BOX 4039
 WARREN, NJ 07059
 PHONE: (732) 560-9700
 CERTIFICATE OF AUTHORIZATION NO. 24AG28032700

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ADOLF MONTANA, P.E.
 PROFESSIONAL ENGINEER
 N.J. LIC. NO. 46978
 6/19/23
 SIGNATURE DATE

PROJECT
**BUILDING 1000
 PARKING LOT AND BUILDING
 ADDITION IMPROVEMENTS**
 BLOCK NO. 2, LOT NO. 18
 BOROUGH OF RARITAN
 SOMERSET COUNTY, NEW JERSEY

SHEET TITLE
**LANDSCAPE
 NOTES & DETAILS**

PROJECT NO.: 05574.0003 DRAWN BY: E.R.O.
 SCALE: AS SHOWN CHECKED BY: A.M.
 DATE: 06-01-2023 SHEET 21 OF 22
 SHEET NO.

C-21

