

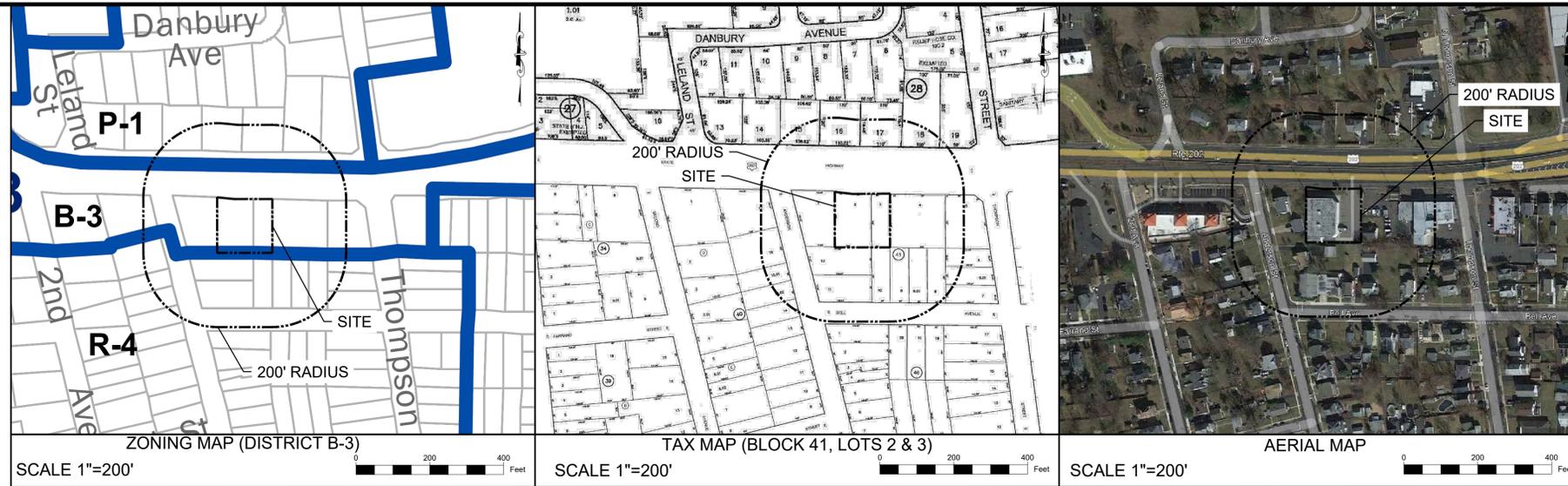
GENERAL NOTES:

- APPLICANT:**
MIDDLE VALLEY PARTNERS, LLC
C/O SETH TIPTON
235 BROUBALOW WAY
PHILLIPSBURG, NJ 08865
PHONE: 305-613-9015

OWNER:
WYKAT REALTY
C/O WYATT TOLLES
405 RT 202
RARITAN, NJ 08869
PHONE: 908-334-0358
- BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS SURVEY", PREPARED BY ENGINEERING & LAND PLANNING ASSOCIATES, INC. DATED 1/17/2022 OR LAST REVISED.
- THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
- ALL ELEVATIONS GIVEN ARE ON USGS DATUM.
- THE SUBJECT PARCEL, BLOCK 41 LOTS 2 & 3, CONSISTS OF 22,076 S.F. (0.507 ACRES).
- NO DEED RESTRICTIONS OR COVENANTS ARE PROPOSED FOR THE SITE.

NOTES:

- SEE ENGINEERING DETAIL SHEETS FOR ALL SITE DETAILS AND SUPPORTING NOTES.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSES OF MUNICIPAL AND AGENCY APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN MARKED "ISSUED FOR CONSTRUCTION."
- THE LOCATION, TYPE, LINE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES, ARE APPROXIMATE. LOCATION OF SERVICE LATERALS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION.



PRELIMINARY AND FINAL MAJOR SITE PLAN MIDDLE VALLEY PARTNERS, LLC

BLOCK 41, LOTS 2 & 3
RARITAN BOROUGH, SOMERSET COUNTY, NEW JERSEY

PREPARED BY
ENGINEERING & LAND PLANNING ASSOCIATES, INC.
140 WEST MAIN STREET, HIGH BRIDGE, NEW JERSEY 08829

200 FT CERTIFIED OWNERS' LIST			
BLOCK	LOT	PROPERTY OWNER	ADDRESS
28	14	CHALUPA, EDWARD & JANET	410 RTE 202 SOUTH, RARITAN, NJ 08869
28	15	GIRGIS, NABIL SHAWKI MIKHAEIL	408 ROUTE 202 SOUTH, RARITAN, NJ 08869
28	16	BATISTA, PRUDI	406 RT. 202 SOUTH, RARITAN, NJ 08869
28	17	JAN, MAHMOOD	404 U.S. HIGHWAY 202 SO, RARITAN, NJ 08869
28	19	DELROCCO, STEPHEN F. JR. & GRACE M	2326 CHURCH HILL ROAD, LEHINGTON, PA 18235
28	18	CAMBRONERO, JOSE D & RODRIGUEZ R	402 RT 202 SOUTH, RARITAN, NJ 08869
40	14	BRAY, JEFFREY M	101 ANDERSON STREET, RARITAN, NJ, 08869
40	15.01	BEJGROWICZ, HENRY	105 ANDERSON ST, RARITAN, NJ, 08869
40	15.02	TAPIA, ANTONIO & TAPIA ISRAEL	103 ANDERSON STREET, RARITAN, NJ, 08869
40	16	SAUNIER, CHARLES	109 ANDERSON STREET, RARITAN, NJ, 08869
41	1	HUMALA, CHRISTIAN M. & JENNIFER	130 ANDERSON ST, RARITAN, NJ, 08869
41	4	GERAGHTY, BARRY T	47 HOLLAND BROOK ROAD, WHITEHOUSE, NJ, 08889
41	5	HU, ZONGQI & YUMEI WANG	372 LURGAN RD, NEW HOPE, PA, 18938
41	6	DUKE PROPERTY	51 MOUNTAIN BLVD, WARREN, NJ, 07059
41	6.01	GUINTU, RENE & LEONORA ZAMORA	111 THOMPSON ST, RARITAN, NJ, 08869
41	7	WEIKEL, RUSSEL A & SIOBHAN	109 THOMPSON ST, RARITAN, NJ, 08869
41	8	GOLSKI, BERNARD	408 BELL AVE, RARITAN, NJ, 08869
41	9	GROTE, SCOTT & WHITE, CORIN	412 BELL AVENUE, RARITAN, NJ, 08869
41	9.01	DEDEUS, JOSE SERGIO & DA SILVA, A	66 PEARL STREET, BRIDGEWATER, NJ, 08807
41	10	MURILLO, MARJORIE & PAREZ, ALBERTO	40 FINDERN AVENUE, BRIDGEWATER, NJ, 08807
41	11	BONGIOVI, ANNA LOUISE	416 BELL AVE., RARITAN, NJ, 08869
41	12	HU, ZONGQI & YUMEI WANG	106 ANDERSON ST, RARITAN, NJ, 08869

ADDITIONAL PARTIES TO BE NOTIFIED	
PROPERTY OWNER	ADDRESS
SOMERSET COUNTY PLANNING BOARD	P.O. BOX 3000, SOMERVILLE, NJ 08876
N. J. DEPT. OF TRANSPORTATION	1035 PARKWAY AVE., P.O. BOX 600, TRENTON, NJ 08625
PUBLIC SERVICE ELECTRIC & GAS CO.	80 PARK PLAZA, T6B, NEWARK, NJ 07102
BELL ATLANTIC	540 BROAD ST., NEWARK, NJ 07102
THE SOMERSET RARITAN VALLEY SEWAGE AUTHORITY	P.O. BOX 6400, BRIDGEWATER, NJ 08807
NEW JERSEY AMERICAN WATER CO.	1025 LAUREL OAK RD., VOORHEES, NJ 08043
BOROUGH OF RARITAN	22 FIRST ST., RARITAN, NJ 08869
CABLE VISION	275 CENTENNIAL AVE., PISCATAWAY, NJ 08855
SOMERVILLE BOROUGH CLERK	25 WEST END AVENUE, SOMERVILLE, NJ 08876
BRIDGEWATER TOWNSHIP CLERK	100 COMMONS WAY, BRIDGEWATER, NJ 08807

PLAN INDEX	
SHEET NO.	TITLE
1	COVER SHEET
2	LEGEND & NOTES
3	EXISTING CONDITIONS & DEMOLITION PLAN
4	SITE PLAN
5	GRADING & SESC PLAN
6	LIGHTING PLAN
7	SESC NOTES & DETAILS
8	CONSTRUCTION DETAILS
9	CONSTRUCTION DETAILS

CERTIFICATIONS/APPROVALS

MUNICIPALITY
THIS PLAN IS HEREBY APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF RARITAN, SOMERSET COUNTY

DATE _____ BOARD CHAIRMAN _____

DATE _____ BOARD SECRETARY _____

DATE _____ BOROUGH ENGINEER _____

I HEREBY CERTIFY THAT I AM THE PRESENT OWNER OF THE REFERENCED PROPERTY AND THAT I CONSENT TO THE FILING OF THIS MAJOR SITE PLAN WITH THE PLANNING BOARD OF THE BOROUGH OF RARITAN

DATE _____ MIDDLE VALLEY PARTNERS, LLC _____

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140 WEST MAIN STREET HIGH BRIDGE, NJ 08829
PH. 908-238-0544 FAX. 908-238-9572
A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA28021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE

03/07/2022
DATE



WAYNE J. INGRAM
PROFESSIONAL LAND SURVEYOR
N.J. P.E. NO. 24GB04258200

PROJECT: MIDDLE VALLEY PARTNERS, LLC
BLOCK 41, LOTS 2 & 3
RARITAN BOROUGH

SOMERSET COUNTY NEW JERSEY

TITLE: COVER SHEET

JOB NO.:	0122002	DRAWING NO.:	1 9
SCALE:	N.T.S.		
DESIGNED:	CKW		
CHECKED:	RAB		
FILENAME:	COVER SHEET.DWG		
DATE:	03/07/2022		

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3. THESE PLANS ARE NOT TO BE USED AS SURVEYS. REFER TO REFERENCE SOURCES FOR BOUNDARY AND TOPOGRAPHIC INFORMATION (NOTE # 2 ABOVE).
4. ALL CROSSWALKS, SIDEWALKS, AND CURB RAMPS WITHIN THE PROJECT LIMITS SHALL CONFORM TO ADA RULES AND REGULATIONS.
5. THE CONTRACTOR SHALL CONFINE ALL CONSTRUCTION ACTIVITIES TO WITHIN THE LIMIT OF WORK AND/OR THE RIGHT-OF-WAY. ALL DISTURBED AREAS ARE TO BE RESTORED TO EXISTING CONDITIONS OR AS INDICATED IN THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES AND IMPROVEMENTS WITHIN THE PROJECT LIMITS AND RIGHT-OF-WAY. THESE FEATURES INCLUDE BUT ARE NOT LIMITED TO TREES, SHRUBS, LANDSCAPING, DRIVEWAYS, MAILBOXES, SIGNAGE, CURBING, SIDEWALKS, UTILITIES, JUNCTION BOXES, POLES, LIGHTING, HYDRANTS, VALVE BOXES, AND STRIPPING.
7. THE CONTRACTOR SHALL OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY LOCAL, COUNTY OR STATE JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLICATION, PAYMENT AND APPROVAL OF SAID PERMITS. NO ADDITIONAL PAYMENT SHALL BE MADE BY THE OWNER.
8. THE CONTRACTOR SHALL NOTIFY THE TOWN AND MUNICIPAL ENGINEER'S OFFICE 72 HOURS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, INCLUDING THE COUNTY SOIL CONSERVATION DISTRICT PRIOR TO THE START OF CONSTRUCTION AND AS NECESSARY THROUGH PROJECT COMPLETION.
9. HOURS OF WORK SHALL BE BETWEEN 7:00AM AND 5:00PM EASTERN STANDARD TIME, UNLESS OTHERWISE PERMITTED BY THE TOWNSHIP.
10. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE PROJECT SITE, CONTRACTOR PROPERTY, EQUIPMENT, AND WORK.
12. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING STREETS OF CONSTRUCTION DIRT AND DEBRIS AT CLOSE OF EACH WORK DAY.
13. THE CONDITION OF THE ADJACENT ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF THE JOB SHALL BE AS GOOD AS OR BETTER THAN PRIOR TO STARTING WORK.
14. PRIOR TO CONSTRUCTION, THE CONTRACTOR, ALONG WITH CONCURRENCE FROM THE OWNER, SHALL DETERMINE HIS/HER LAY-DOWN AND/OR STAGING AREA LOCATIONS.
15. THE CONTRACTOR SHALL NOTIFY ALL PROPERTY OWNERS A MINIMUM OF 24 HOURS PRIOR TO BLOCKING DRIVEWAYS OR ENTERING UTILITY EASEMENTS.
16. TRAFFIC INGRESS AND EGRESS FOR DRIVEWAYS AND PEDESTRIAN ACCESS FACILITIES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
17. ANY DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPLACED WITH LIKE-KIND OR BETTER AT THE CONTRACTOR'S EXPENSE. TREES, BUSHES, SHRUBBERY AND OTHER DAMAGED PLANTINGS TO REMAIN SHALL BE REPLACED WITHIN 72 HOURS OF REMOVAL AND ARE TO BE THOROUGHLY WATERED-IN.
18. PAVED SURFACES, PAVEMENT MARKERS AND MARKINGS SHALL BE PROTECTED FROM DAMAGE BY TRACKED EQUIPMENT.
19. PROPERTY MARKERS DISTURBED DURING CONSTRUCTION ARE TO BE REPLACED BY A REGISTERED PUBLIC LAND SURVEYOR FOR THE ORIGINAL PROPERTY OWNER AT NO SEPARATE PAY.
20. CONSTRUCTION STAKING WILL BE PROVIDED BY THE CONTRACTOR. TWO COPIES OF STAKING NOTES TO BE PROVIDED TO THE ENGINEER PRIOR TO CONSTRUCTION.
21. THE CONTRACTOR SHALL MAINTAIN UPDATED RED-LINED RECORD DRAWINGS ON SITE FOR INSPECTION BY THE ENGINEER.
22. MAINTENANCE AND CLEAN-UP OF THE PROJECT IS REQUIRED FOR THE PROJECT LIMITS AND DURATION, REGARDLESS OF THE CONTRACTOR'S SCOPE OF ACTIVITIES WITHIN THE PROJECT LIMITS.
23. THE REMOVAL OF ANY ABANDONED UTILITIES REQUIRED TO COMPLETE THE WORK SHALL BE INCIDENTAL AND NO SEPARATE PAYMENT SHALL BE MADE.
24. IT IS THE CONTRACTOR'S RESPONSIBILITY TO STOCKPILE NECESSARY MATERIAL ON-SITE OR AT A SECURED OFF-SITE LOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER.
25. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY

- COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE "ON THE JOB" SAFETY FOR HIS EMPLOYEES, EMPLOYEES OF THE OWNER AND ALL OTHER PERSONS HAVING AUTHORIZED OR UNAUTHORIZED ACCESS TO THE WORK AND THE PUBLIC. CONTRACTOR SHALL PERFORM HIS WORK IN A SAFE MANNER AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
26. THE LOCATION, TYPE, SIZE, DEPTH, ETC. OF ALL EXISTING UTILITIES ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND AT HIS OWN EXPENSE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OPERATING WITHIN THE CONSTRUCTION SITE 3 DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION FOR ACCURATE FIELD LOCATIONS. FOR UTILITY MARKOUT, CALL 8-1-1 OR (FOR PA, 1-800-242-1776 FOR NJ, 1-800-272-1000). THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ALL DEVIATIONS OF SITE CONDITIONS AND/OR IF DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO SUCH DEVIATIONS.
 27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LINES, ELEVATIONS, AND MEASUREMENTS, EXERCISING PRECAUTION TO VERIFY ALL DIMENSIONS SHOWN ON DRAWING.
 28. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER SHOULD DEPARTURES FROM THE APPROVED DESIGN BECOME NECESSARY DUE TO CIRCUMSTANCES WHICH ARISE DURING CONSTRUCTION.
 29. ITEMS NOT SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR THE SAME AS IF SPECIFIED.

SITE/CIVIL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF THE PROJECT SITE AND ALL UPGRADIENT AREAS TO THE SITE.
2. CATCH BASIN GRATE AND HEADERS SHALL BE RESET AS REQUIRED TO MATCH FINISH GRADE ELEVATIONS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE ENGINEER. PLACEMENT GRATES AND HEADERS SHALL BE ALIGNED WITH ADJACENT CURBING AND PAVEMENT.
3. MILLINGS, STONE, SOIL, CONSTRUCTION DEBRIS, AND ALL OTHER RELATED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR FOR OFF-SITE DISPOSAL.
4. INADEQUATE INSPECTION OF WORKMANSHIP SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM THE WORK IN ACCORDANCE WITH APPLICABLE PLANS, SPECIFICATIONS AND REGULATIONS AND TO OBTAIN WRITTEN APPROVAL OF MUNICIPAL OFFICIALS, AND ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
5. ALL CONCRETE USED FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. OR AS REQUIRED BY THE A/E.
6. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INDIVIDUALLY AND SHALL NOTIFY THE UNDERGROUND UTILITIES NOTIFICATION SERVICE AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF ANY EXCAVATION BY CALLING [1-800-242-1776 IN PA, 1-800-272-1000 IN NJ].
7. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE OR USED AS SPOIL, UNLESS DIRECTED BY THE ENGINEER AND IN CONFORMANCE TO AN APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.
8. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT SHALL BE FREE OF ORGANIC AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
9. ALL CONTRACTORS WORKING ON THIS PROJECT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES RELATED TO THIS PROJECT ARE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA (OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION) STANDARDS.
10. NO EXCAVATION OR FILL SHALL BE MADE WITH A FACE STEEPER THAN THREE (3) HORIZONTAL TO ONE (1) VERTICAL (3:1) UNLESS A RETAINING WALL, CONSTRUCTED IN ACCORDANCE WITH APPROVED STANDARDS IS PROVIDED TO SUPPORT THE FACE OF SLOPE OF SAID EXCAVATION OR FILL.
11. BURYING OF TREES, STUMPS, OR CONSTRUCTION MATERIAL IS PROHIBITED. TREES AND STUMPS MAY BE CHIPPED OR GROUND AND SPREAD ON THE SITE.
12. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE AND FUNCTIONING PRIOR TO ANY OTHER DISTURBANCE ON THE SITE.
13. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DEVELOPED FROM UTILITY COMPANY AS-BUILTS AND OR FIELD SURVEY AT THE SITE. COMPLETENESS AND/OR ACCURACY CANNOT BE GUARANTEED.

TRAFFIC CONTROL:

1. THE CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH THE MOST RECENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE CONTRACTOR SHALL MAINTAIN AT LEAST ONE LANE OF TRAFFIC IN EACH DIRECTION DURING WORKING HOURS EXCEPT DURING FLAGGING OPERATION OR PROVIDE DETOURS AROUND THE CONSTRUCTION SITE AND PROVIDE PUBLIC NOTIFICATION.
3. DETOURS REQUIRE PRIOR APPROVAL OF THE TOWN ENGINEER. DETOUR PLANS, IF ALLOWED, MUST INCLUDE APPROPRIATE DETOUR SIGNAGE, PUBLIC NOTICE VIA SIGNAGE TWO WEEKS IN ADVANCE STATING THE DATES OF THE AGREED UPON DATE OF CLOSURE AND DATE THE ROAD WILL RE-OPEN TO TRAFFIC. CONTRACTOR TO USE CONSTRUCTION METHODS TO MINIMIZE THE DURATION OF THE DETOUR AND TO ENSURE THAT THE ROADWAY IS OPEN ON, OR PRIOR TO, THE AGREED UPON DATE.
4. ONE DAY PRIOR TO THE IMPLEMENTATION OF A TRAFFIC CONTROL PLAN PHASE OR STEP, OR THE IMPLEMENTATION OF AN ADDITIONAL, REVISED, OR NEW TRAFFIC CONTROL ELEMENT, THE CONTRACTOR SHALL MEET WITH THE ENGINEER TO GIVE A DETAILED DESCRIPTION OF THE CONTRACTOR'S PLAN AND PREPARATIONS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE ENGINEER THAT ADEQUATE PROJECT PROGRESS HAS BEEN ACHIEVED AND THAT ADEQUATE PREPARATIONS ARE IN PLACE PRIOR TO SWITCHING TRAFFIC. IF, IN THE OPINION OF THE ENGINEER, REQUIRED PROGRESS AND ADEQUATE PREPARATIONS ARE NOT COMPLETE, THE CONTRACTOR SHALL NOT IMPLEMENT THE NEXT PHASE, STEP, OR ELEMENT OF TRAFFIC CONTROL UNTIL INCOMPLETE CONSTRUCTION ITEMS OR PREPARATIONS ARE COMPLETED. TIME EXTENSIONS WILL NOT BE GRANTED FOR DELAYS CAUSED BY THE INCOMPLETE CONSTRUCTION ITEMS OR INADEQUATE CONTRACTOR PREPARATIONS REQUIRED TO IMPLEMENT TRAFFIC CONTROL.
5. TRAFFIC CONTROL PER THE CONTRACT IS REQUIRED FOR THE ENTIRE DURATION OF THE PROJECT, INCLUDING THE PUNCHLIST PERIOD.
6. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE TOWN FOR REVIEW AND APPROVAL A MINIMUM OF 3 DAYS PRIOR TO THE START OF CONSTRUCTION.

STANDARD LEGEND

EXISTING		PROPOSED
	RIGHT-OF-WAY / PROPERTY	
	SETBACK LINE	
	CURB	
	DEPRESSED CURB	
	FLUSH CURB	
	UNDERGROUND GAS	
	EDGE OF GRAVEL	
	EDGE OF PAVEMENT	
	UNDERGROUND WATER	
	UNDERGROUND SANITARY SEWER	
	UNDERGROUND TEC LINES	
	OVERHEAD WIRES	
	BOARD ON BOARD FENCE	
	CHAIN LINK FENCE	
	UNDERGROUND STORMWATER PIPE	
	TREE LINE	
	CONTOUR	
	BOLLARD	
	WATER VALVE	
	GAS VALVE	
	VALVE	
	CLEAN-OUT	
	FIRE HYDT.	
	"A" SEWER INLET	
	"B" SEWER INLET	
	UTILITY POLE	
	OVERHEAD LIGHT	
	HEADWALL AND APRON	
	SILT FENCE	
	LIMIT OF DISTURBANCE	
	MONUMENT	
	ROW MONUMENT	
	TEST PIT (NUMBER)	
	BORING (NUMBER)	
	SPOT GRADE	
	TREE	
	SHRUB	

STANDARD ABBREVIATIONS

AH., BK.	AHEAD, BACK	J.B.	JUNCTION BOX	RCP, R.C.P.	REINFORCED CONCRETE PIPE
‡, B.L.	BASELINE	LT., RT.	LEFT, RIGHT	RNMC, R.N.M.C.	RIGID NON-METALLIC CONDUIT
B.M.	BENCH MARK	L.O.P.	LIMIT OF PAVEMENT (PAVING)	ROW, R.O.W.	RIGHT OF WAY
B.T.	BELL TELEPHONE	L.O.M.	LIMIT OF MILLING	R.R.	RAILROAD
BIT., BITUM.	BITUMINOUS	M.B.	MAILBOX	RT., RT.	ROUTE
BLDG.	BUILDING	M.P.	MILE POST	SAN.	SANITARY
‡, C.L.	CENTERLINE	MAX.	MAXIMUM	SDWK.	SIDEWALK
C.I.P.	CAST IRON PIPE	MIN.	MINIMUM	S.H.D.	STATE HIGHWAY DEPARTMENT
D.I.P.	DUCTILE IRON PIPE	NO.	NUMBER	SHLD.	SHOULDER
CONC.	CONCRETE	N.T.S.	NOT TO SCALE	‡, S.L.	SURVEY LINE
CULV.	CULVERT	PAVT.	PAVEMENT	S.O.D.	SUBBASE OUTLET DRAIN
D, DIA.	DIAMETER	PERF.	PERFORATED	STY.	STORY
D.C.	DEPRESSED CURB	P.G.L.	PROFILE GRADE LINE	T	TANGENT
DE	DITCH EXCAVATION	‡, P.L.	PROPERTY LINE, PROFILE LINE	TBA	TO BE ABANDONED
DEP., DP	DEPRESSED CURB	PK	PARKER KAYLON MASONRY NAIL	TBR	TO BE REMOVED
DH	DRILL HOLE	POC, P.O.C.	POINT ON CURVE	TEC	TELEPHONE, CABLE, AND ELECTRIC
DWY	DRIVEWAY	POL, P.O.L.	POINT ON LINE	TEMP.	TEMPORARY
E.B., W.B.,	EASTBOUND, WESTBOUND	POT, P.O.T.	POINT ON TANGENT	THK., TH.	THICK
N.B., S.B.	NORTHBOUND, SOUTHBOUND	PRC, P.R.C.	POINT OF REVERSE CURVE	TYP.	TYPICAL
EL., ELEV.	ELEVATION	PROP.	PROPOSED	U.D.	UNDERDRAIN
EXIST.	EXISTING	PT, P.T.	POINT OF TANGENCY	UP, U.P.	UTILITY POLE
GR.	GRATE	PVC, P.V.C.	POLYVINYL CHLORIDE PIPE,	VAR.	VARIABLE, VARIES
HT.	HEIGHT		POINT OF VERTICAL CURVATURE	WM	WATER METER
H.W.	HEADWALL	PVI, P.V.I.	POINT OF VERTICAL INTERSECTION		
HYD.	HYDRANT	PVT, P.V.T.	POINT OF VERTICAL TANGENCY, PAVEMENT		
INV.	INVERT	R	RADIUS		

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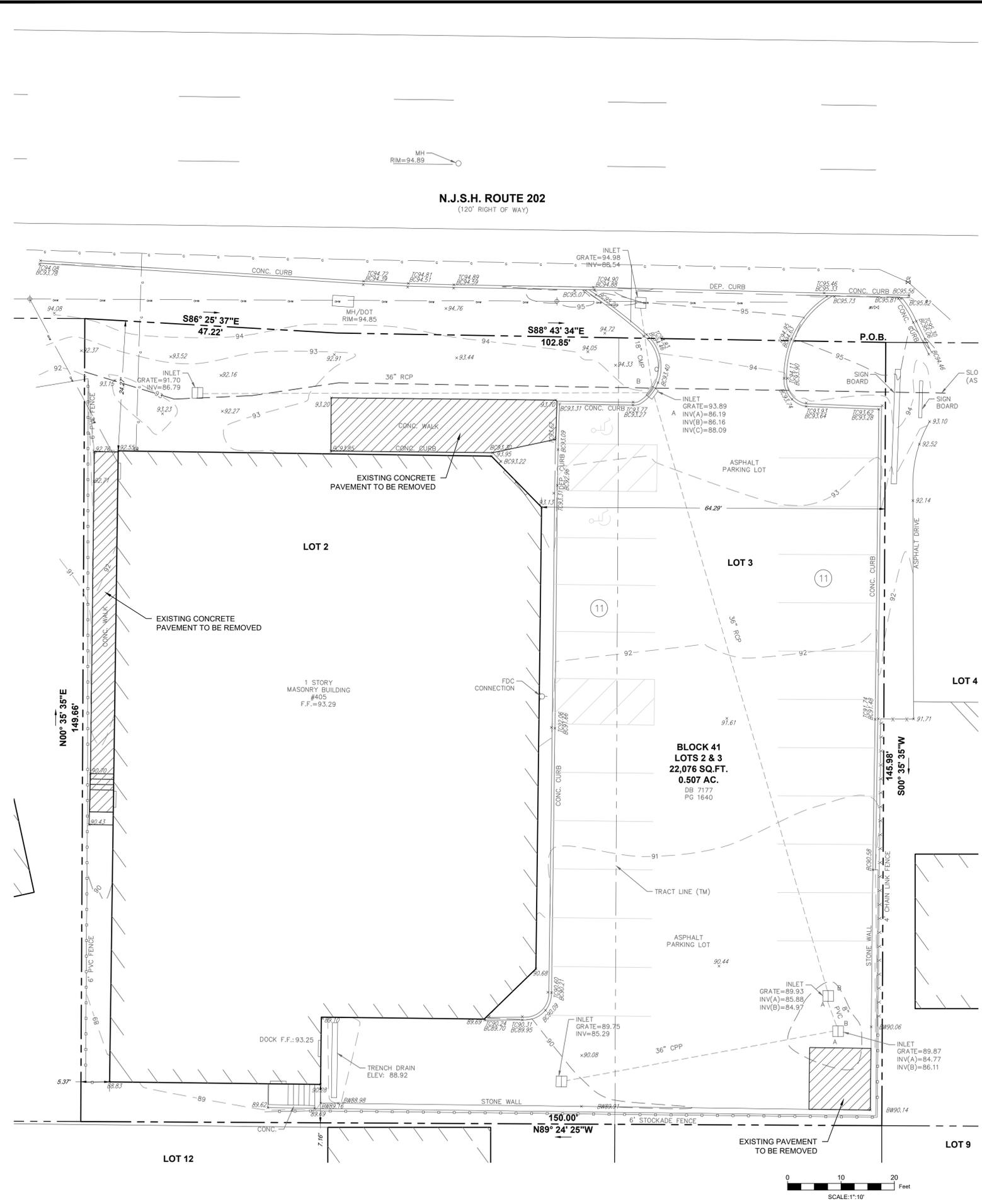
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SOMERSET COUNTY NEW JERSEY

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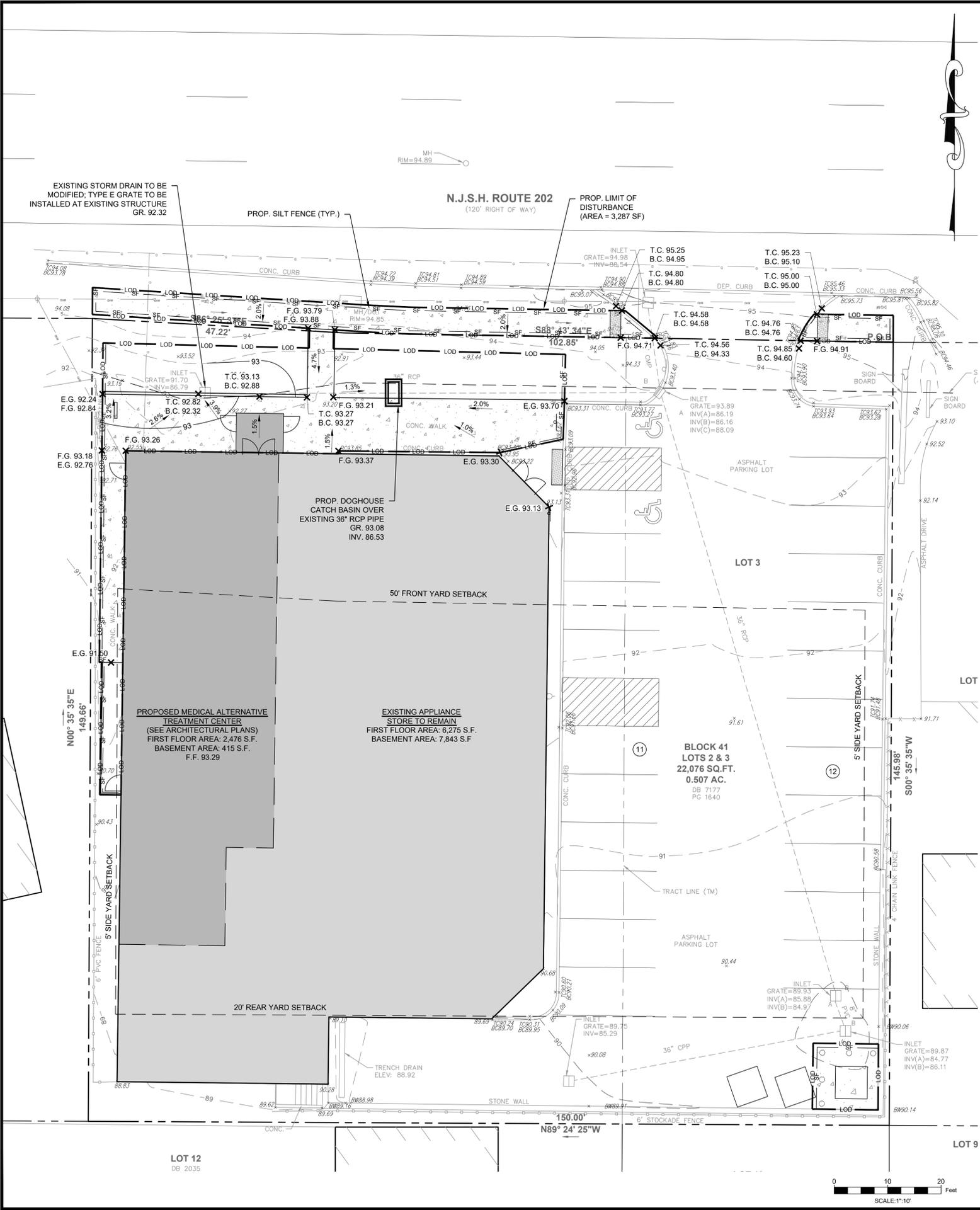
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MIDDLE VALLEY PARTNERS, LLC
BLOCK 41, LOTS 2 & 3
RARITAN BOROUGH
SOMERSET COUNTY NEW JERSEY

TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

JOB NO.:	0122002	DRAWING NO.:	3 9
SCALE:	1"=10'		
DESIGNED:	CKW		
CHECKED:	RAB		
FILENAME:	DEMOLITION PLAN.DWG		
DATE:	03/07/2022		



- LEGEND**
- — — — — PROPERTY LINE
 - - - - - SETBACK LINE
 - ▨ PROP. CONCRETE WALKWAY
 - ▩ EXISTING STRUCTURE TO REMAIN (USE: APPLIANCE STORE)
 - ▩ EXISTING STRUCTURE TO BE MODIFIED (USE: MEDICAL ALTERNATIVE TREATMENT CENTER)
 - — — — — LOD LIMIT OF DISTURBANCE
 - — — — — SF PROP. SILT FENCE

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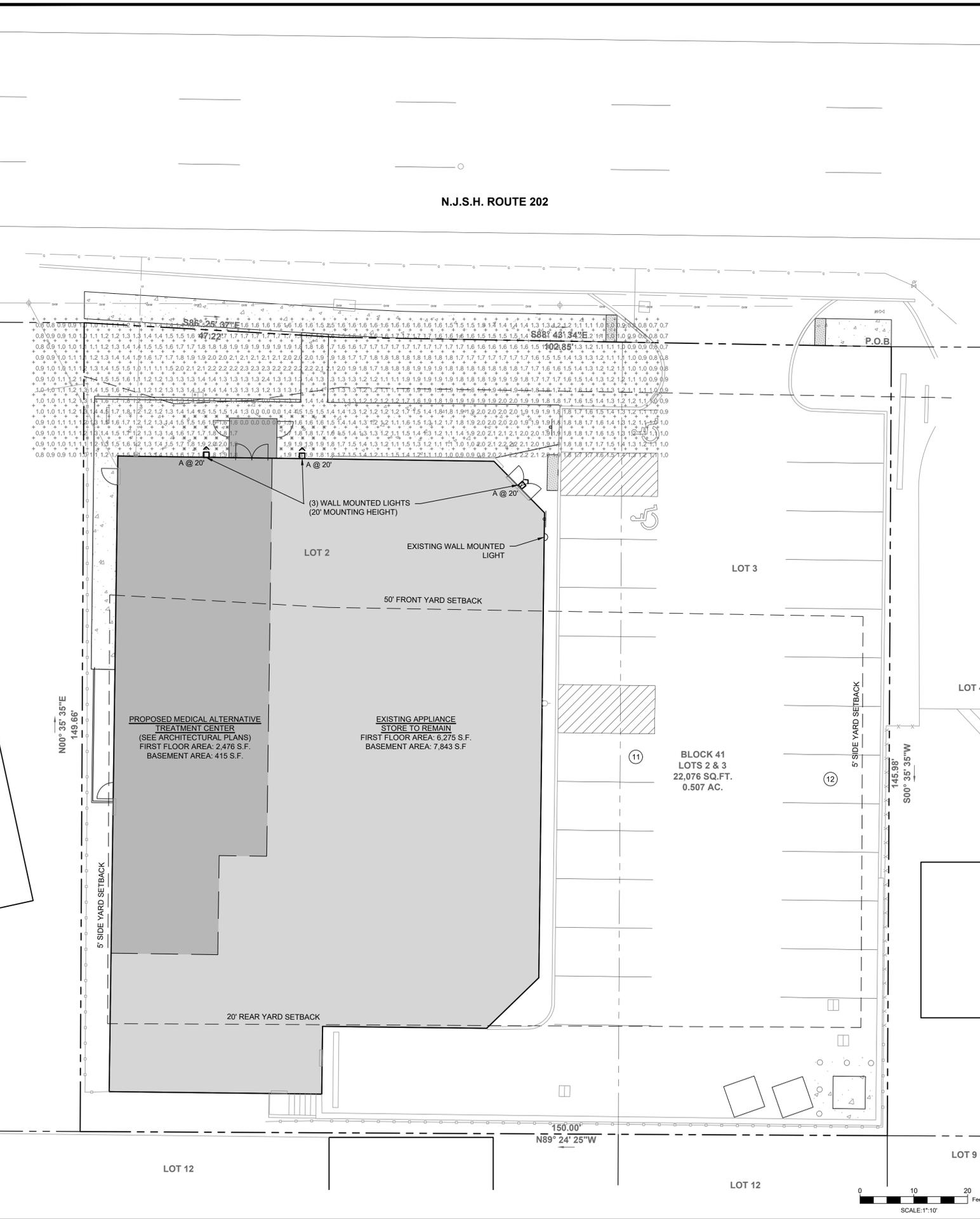
NO.	REVISION	BY	DATE

03/07/2022 DATE
 WJH
 WAYNE J. INGRAM
 PROFESSIONAL LAND SURVEYOR
 N.J. P.E. NO. 24GB04258200

PROJECT:
 MIDDLE VALLEY PARTNERS, LLC
 BLOCK 41, LOTS 2 & 3
 RARITAN BOROUGH
 SOMERSET COUNTY NEW JERSEY

TITLE:
GRADING & SESC PLAN

JOB NO.:	0122002	DRAWING NO.:	5 9
SCALE:	1"=10'		
DESIGNED:	CKW		
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FILENAME:	SITE PLAN.DWG		
DATE:	03/07/2022		

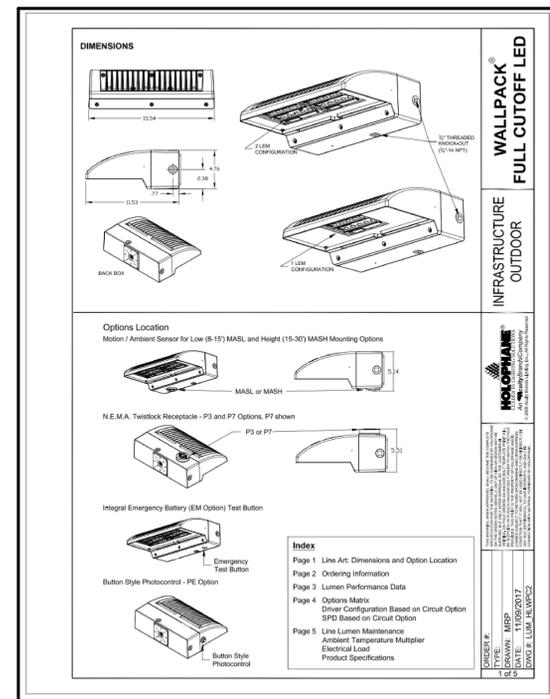


SCHEDULE										
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	NUMBER LAMPS	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE	DISTRIBUTION
	A	3	HOLOPHANE	HLWPC2 P20 40K XX T3M	WALLPACK FULL CUTOFF LED, LED PERFORMANCE PACKAGE P10, 4000 SERIES CCT, VOLTAGE, TYPE III MEDIUM	1	5510	0.9	47	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G2

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
AREA OF CONCERN	x	1.8 fc	2.0 fc	1.5 fc	1.3:1	1.2:1
SPILL LIGHT SUMMARY	+	1.1 fc	2.4 fc	0.0 fc	N/A	N/A

- GENERAL NOTES - EXTERIOR
1. READINGS SHOWN ARE BASED ON A TOTAL LLF OF AS SHOWN AT GRADE. DATA REFERENCES THE EXTRAPOLATED PERFORMANCE PROJECTIONS IN A 25C AMBIENT BASED ON 10,000 HRS OF LED TESTING (PER IESNA LM-80-08 AND PROJECTED PER IESNA TM-21-11).
 2. PLEASE REFER TO THE FIXTURE LABELS FOR PRODUCT TYPE AND MOUNTING HEIGHT.
 3. PRODUCT INFORMATION CAN BE OBTAINED AT [HTTPS://WWW.ACUIITYBRANDS.COM](https://www.acuitybrands.com) OR THROUGH YOUR LOCAL AGENCY.

- LIGHTING NOTES:
1. APPLICANT WILL PERFORM A NIGHT LIGHT TEST TO THE SATISFACTION OF THE BOARD ENGINEER AND PROVIDE MODIFICATIONS IF REQUIRED.



LIGHTING DETAIL

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NO.	REVISION	BY	DATE

03/07/2022
DATE

WAYNE J. INGRAM
PROFESSIONAL LAND SURVEYOR
N.J. P.E. NO. 24GB04258200

PROJECT:

MIDDLE VALLEY PARTNERS, LLC
BLOCK 41, LOTS 2 & 3
RARITAN BOROUGH

SOMERSET COUNTY NEW JERSEY

TITLE:

LIGHTING PLAN

JOB NO.:	0122002	DRAWING NO.:	6 9
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SOMERSET - UNION SOIL EROSION AND SEDIMENT CONTROL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NEW JERSEY STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS, AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN FIFTEEN (15) DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. : SLOPES GREATER THAN 3:1)
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.

- IN THAT NJSA 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION AND SEDIMENT CONTROL STANDARDS.
- THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

SITE PREPARATION

- GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
- INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED 6" TO 12" HERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

CONSTRUCTION SEQUENCE

1. INSTALL ALL SESC DEVICES	1 DAY
2. SITE CLEARING	1 DAY
3. CONSTRUCTION OF SITE IMPROVEMENTS	8 WEEKS
4. RESTORE ALL AREAS AS APPROPRIATE COMPLETION OF CONSTRUCTION	2 DAY
5. REMOVE SOIL EROSION AND SEDIMENT CONTROL DEVICES	1 DAY
TOTAL:	9 WEEKS

DUST CONTROL NOTES

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:

MULCHES

VEGETATIVE COVER

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

DUST CONTROL MATERIALS

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GAL/AC
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) - SPRAY ON POLYACRYLAMIDE (PAM) - DRY SPRAY		APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TP FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS.	
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 18 INCHES APART, AND SPRING-TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEED-BED PREPARATION FOR ALL SEEDINGS

SUB-SOIL PREPARATION: IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SURFACE SHOULD BE SCARIFIED TO A DEPTH OF 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION (E.G. AREAS OF HEAVY CONSTRUCTION TRAFFIC). THIS PRACTICE IS TO BE APPLIED TO ALL COMPACTED AREAS WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).

TOPSOILING: AREAS TO BE SEEDING SHOULD HAVE A MINIMUM OF 5" OF FRIABLE, LOAMY, TOPSOIL FREE OF OBJECTIONABLE WEEDS, STONES, AND DEBRIS.

FINAL GRADING: GRADING IS TO BE SMOOTH OF RUTS AND FREE OF OBJECTIONABLE STONES, DEPRESSIONS, VEHICLE TRACKS, AND ROUGH EDGES. THERE IS TO BE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND DWELLINGS. REFUSE FROM SEEDBED PREPARATION (ROOTS, STICKS, STONES, CONSTRUCTION DEBRIS) MUST BE DISPOSED OF PROPERLY.

LIMING/FERTILIZING: APPLY LIMESTONE AND FERTILIZER TO SOIL. TEST RECOMMENDATIONS. A. LIME IS TO BE APPLIED AT THE RECOMMENDED RATE. LIME MAY BE ANY PRODUCT AS TONS AS THE COE CALCIUM CARBONATE EQUIVALENCY. PELLETED AND LIQUID PRODUCTS MAY BE PREFERRED BECAUSE OF THEIR LACK OF DUST AND EASE OF HANDLING BUT MUST MEET THE FORE-MENTIONED CRITERIA. B. STARTER FERTILIZER, SPECIFIED AS 10-20-10, IS TO BE APPLIED AT 500 LBS. PER ACRE. C. LIME AND FERTILIZER ARE TO BE WORKED INTO THE SOIL TO A DEPTH OF 4 INCHES.

TEMPORARY STABILIZATION WITH MULCH ONLY

STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE SPREAD UNIFORMLY AT THE RATE OF 2 TO 2 1/2 TONS PER ACRE (TOTAL GROUND SURFACE COVERAGE). THIS PRACTICE IS LIMITED TO PERIODS WHEN VEGETATIVE COVER CANNOT BE ESTABLISHED DUE TO THE SEASON OR OTHER CONDITIONS. MULCH MUST BE ANCHORED IN ACCORDANCE WITH NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL. MULCH ALONE CAN ONLY BE USED FOR SHORT PERIOD AND WILL REQUIRE MAINTENANCE AND RENEWAL. OTHER MULCH MATERIALS MAY BE UTILIZED IF APPROVED BY THE DISTRICT.

TEMPORARY SEEDING

TEMPORARY SEEDING IS TO BE USED ON ALL DISTURBED AREAS WHERE PERMANENT STABILIZATION WILL NOT BE ACCOMPLISHED FOR A PERIOD OF UP TO 6 MONTHS.

PRODUCT	RATE	RECOMMENDED OPTIMUM SEEDING DATES
PERENNIAL RYEGRASS	100 LBS./ACRE	3/1-5/15 & 8/15-10/1
SPRING OATS	86 LBS./ACRE	3/15-6/1 & 8/1-10/1
WINTER CEREAL RYE	112 LBS./ACRE	8/1-11/15
WINTER BARLEY	96 LBS./ACRE	8/15-10/1
PEARL MILLET	20 LBS./ACRE	5/15-8/15
GERMAN OR HUNGARIAN MILLET	30 LBS./ACRE	5/15-8/15

STABILIZATION WITH SOD

STABILIZATION WITH SOD IS PERMITTED IN AREAS WHERE MAINTENANCE AND IRRIGATION ARE ADEQUATE TO INSURE PROPER ESTABLISHMENT AND LONGEVITY. SEEDBED PREPARATION IS TO BE CONSISTENT WITH ANY OTHER STABILIZATION REQUIREMENTS. (LIME AND FERTILIZER BAGS ARE TO BE RETAINED FOR DISTRICT INSPECTION.) ON SLOPES GREATER THAN 3 TO 1, SOD MUST BE PROPERLY ANCHORED TO THE SLOPE IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL.

PERMANENT SEEDING

- SEED IS TO BE INCORPORATED INTO THE SOIL TO A DEPTH OF 1/4" - 1/2".
- LAWN SEEDINGS ARE TO BE A MIXTURE OF BLUEGRASS, TURF-TYPE FESCUES, AND TURF-TYPE PERENNIAL RYEGRASSES TO INSURE LONGEVITY, TOLERANCE, AND DURABILITY. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE OF MORE THAN 12 MONTHS OLD UNLESS RETESTED.
- PROFESSIONAL SEED MIXTURES ARE RECOMMENDED RATHER THAN MIXING SEEDS YOURSELF.
- SEED MIXTURE (AS SPECIFIED BELOW) IS TO BE APPLIED AT A MINIMUM RATE OF 200 LBS. PER ACRE OF PERENNIAL SEED.
- OPTIMUM SEEDING PERIOD FOR SOMERSET COUNTY IS FROM MARCH 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 1. OUTSIDE OF THOSE PERIODS, THE SEEDING RATES ARE TO BE INCREASED BY 50 (I.E.: 300 LBS. PER ACRE OF PERENNIAL SEED INSTEAD OF THE REQUIRED 200 LBS. PER ACRE DURING OPTIMUM PERIODS).
- SEEDINGS SHOULD RECEIVE AN APPLICATION OF FERTILIZER SUCH AS 10-10-10 OR EQUIVALENT AT 400 LBS. PER ACRE APPROXIMATELY 6 MONTHS AFTER FIRST APPLICATION.

SEEDING MIXTURE FOR GENERAL SEEDING

40% TURF-TYPE TALL FESCUE	OR	60% KENTUCKY BLUEGRASS
10% CREEPING RED FESCUE		20% TURF-TYPE PERENNIAL RYEGRASS
10% CHEWINGS FESCUE		20% CHEWINGS FESCUE
10% KENTUCKY BLUEGRASS		
30% TURF-TYPE PERENNIAL RYEGRASS		

OTHER SEED MIXTURES, SUCH AS BLENDED VARIETIES OF PERENNIAL TURF-TYPE RYEGRASSES, TURF-TYPE TALL FESCUES OR BLUEGRASSES MAY ALSO BE ACCEPTABLE IF APPROVED BY THE DISTRICT.

MULCHING:

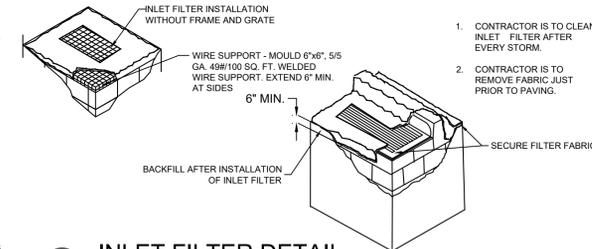
MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANT WITH THIS MULCHING REQUIREMENT.

- STRAW OR HAY: UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS IS NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR REESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.
 - APPLICATION: SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION. ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPE, AND COSTS.
 - PEG AND TWINE: DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISSCROSS AND SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - MULCH NETTINGS: STAPLE PAPER, JUICE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
 - CRIMPER (MULCH ANCHORING COULTER TOOL): A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.
 - LIQUID MULCH BINDERS: MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS: NATURALLY OCCURRING, POWDER BASED HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL, AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THE STATE.
 - SYNTHETIC BINDERS: HIGH POLYMERS SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURE AND REMAIN TACKY UNTIL GERMINATION OF GRASS.
- WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- PELLETED MULCH: COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN COPOLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDING AREA AND WATERED FORM A MULCH MAT. PELLETED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQ. FT. AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN AND RENOVATION AREAS. SEEDING AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENTS ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.
 - IRRIGATION (WHERE FEASIBLE): IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
 - TOP DRESSING: SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED IN SECTION 2A-SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAY BE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESSING WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEK UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED.
 - ESTABLISHING PERMANENT VEGETATIVE STABILIZATION, THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MUCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN THE PERMANENT SEEDING TABLE ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN APPLICATION RATES MAY BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING A REPORT OF COMPLIANCE FROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVER (OF THE SEEDING SPECIES) AND MOWED ONCE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

AGRONOMIC SPECIFICATIONS FOR LAWNS AND CONSTRUCTION SITES

GENERAL

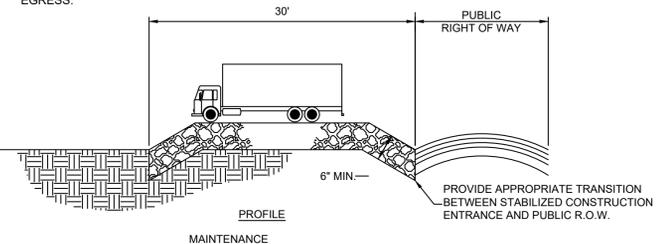
- ALL DISTURBED AREAS THAT ARE NOT BEING GRADED, NOT UNDER ACTIVE CONSTRUCTION, OR NOT SCHEDULED TO BE PERMANENTLY SEEDED WITHIN 30 DAYS MUST BE TEMPORARILY STABILIZED AS PER SPECIFICATIONS BELOW.
- ALL EXPOSED AREAS WHICH ARE TO BE PERMANENTLY VEGETATED, ARE TO BE SEEDING AND MULCHED WITHIN 10 DAYS OF FINAL GRADING.
- STRAW MULCH (HAY MULCH MAY BE SUBSTITUTED IF APPROVED BY THE DISTRICT) IS TO BE APPLIED TO ALL SEEDINGS AT A RATE OF 1-1/2 TO 2 TONS PER ACRE (APPROX. 100 TO 130 BALES PER ACRE).
- MULCH ANCHORING IS REQUIRED AFTER MULCHING TO MINIMIZE LOSS BY WIND OR WATER. THIS IS TO BE DONE USING ONE OF THE METHODS (CRIMPING, LIQUID MULCH BINDERS, NETTINGS, ETC.) IN THE "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY".
- EXISTING WEEDY AND POORLY-VEGETATED AREAS WITH LESS THAN 80 PERCENT PERENNIAL GRASS COVER MUST RECEIVE PERMANENT STABILIZATION (AS SPECIFIED).
- ALL BAGS NEED TO BE SAVED FOR LIME, FERTILIZER, SEED, AND LIQUID MULCH BINDER (IF MULCH ANCHORING METHOD). SUCH PROOFS NEED TO BE SUBMITTED TO THE DISTRICT INSPECTOR FOR VERIFICATION OF MATERIALS AND QUANTITIES USED FOR ALL SEEDINGS.
- AN ADDITIONAL FEE OF \$120.00 PER INSPECTION WILL BE ASSESSED TO THOSE SITES WHERE ADDITIONAL INSPECTIONS ARE NECESSITATED AS A RESULT OF NON-COMPLIANCE WITH THE APPROVED PLAN. THIS INCLUDES ADDITIONAL INSPECTIONS PERFORMED AFTER THE FAILURE OF AN INITIAL REPORT OF COMPLIANCE INSPECTION. THE ENTIRE SITE IS INSPECTED AT THE TIME OF A REQUEST FOR REPORT OF COMPLIANCE.



1 INLET FILTER DETAIL NTS

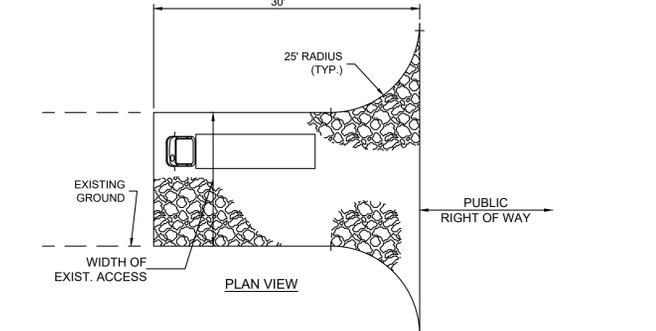
DESIGN CRITERIA

STONE SIZE - USE ASTM C-33, SIZE NO. 2 (2 1/2 TO 1 1/2") OR 3 (2 TO 1"). USE CLEAN CRUSHED ANGULAR STONE. CRUSHED CONCRETE OF SIMILAR SIZE MAY BE SUBSTITUTED BUT WILL REQUIRE MORE FREQUENT UPGRADING AND MAINTENANCE. THICKNESS-NOT LESS THAN SIX (6) INCHES. WIDTH-NOT LESS THAN FULL WIDTH OF POINTS OF INGRESS OR EGRESS.

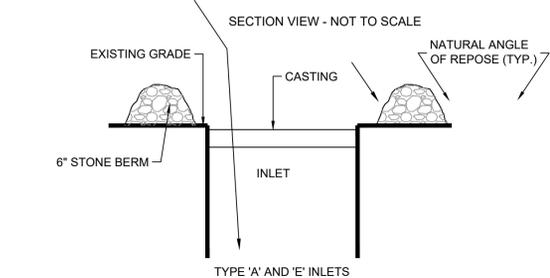


THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO ROADWAYS (PUBLIC OR PRIVATE) OR OTHER IMPERVIOUS SURFACES MUST BE REMOVED IMMEDIATELY.

WHERE ACCUMULATION OF DUST/SEDIMENT IS INADEQUATELY CLEANED OR REMOVED BY CONVENTIONAL METHODS, A POWER BROOM OR STREET SWEEPER WILL BE REQUIRED TO CLEAN PAVED OR IMPERVIOUS SURFACES. ALL OTHER ACCESS POINTS WHICH ARE NOT STABILIZED SHALL BE BLOCKED OFF.

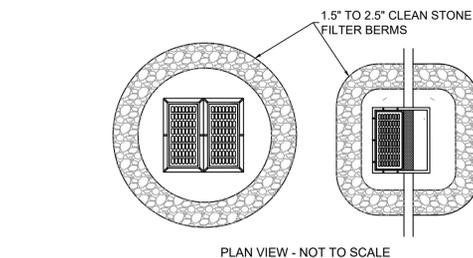


3 CONSTRUCTION ENTRANCE DETAIL NTS

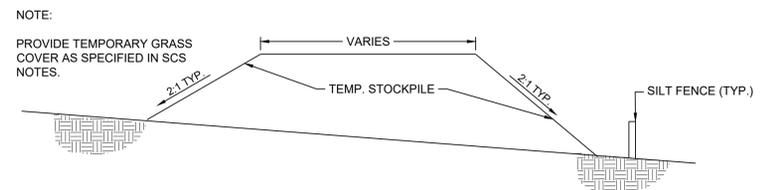


STONE PILES NOT TO EXCEED CURB HEIGHT OR OBSTRUCT FLOW TO AN EXTENT THAT A FLOODING HAZARD IS CREATED

NO STONE OR FILTERS SHALL BE PLACED OVER INLET OPENINGS

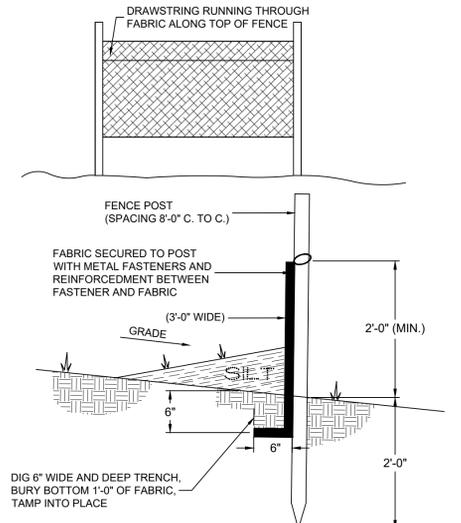


4 INLET PROTECTION DETAIL NTS



NOTE: PROVIDE TEMPORARY GRASS COVER AS SPECIFIED IN SCS NOTES.

5 TEMPORARY SOIL STOCKPILE DETAIL NTS



2 SILT FENCE DETAIL NTS

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A PROFESSIONAL ASSOCIATION
CERTIFICATE OF AUTHORIZATION NO.: 24GA2021500 EXP. 8/31/2022

NO.	REVISION	BY	DATE

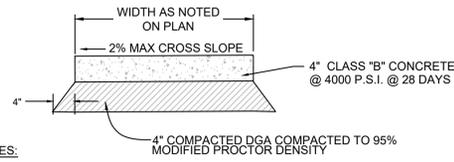
03/07/2022 DATE
WAYNE J. INGRAM
PROFESSIONAL LAND SURVEYOR
N.J. P.E. NO. 24GB04258200

PROJECT: MIDDLE VALLEY PARTNERS, LLC
BLOCK 41, LOTS 2 & 3
RARITAN BOROUGH

SOMERSET COUNTY NEW JERSEY

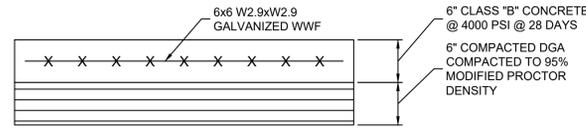
TITLE: SESC NOTES & DETAILS

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SCALE:	AS SHOWN		
DESIGNED:	CKW		
CHECKED:	RAB		
FILENAME:	CONSTRUCTION DETAILS.dwg		9
DATE:	03/07/2022		



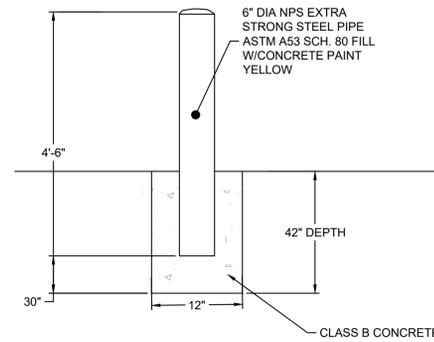
NOTES:
 CONSTRUCTION JOINTS AT 4'-0" O.C. WITH 1/2" BITUMINOUS PRE-MOLDED EXPANSION JOINT EVERY 20'-0" AND WHERE SIDEWALK ABUTS EXISTING BUILDINGS, CURBS, OR WALKS. TOOL ALL EDGES 1/2" R.
 **ALL SIDEWALK CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY STANDARD.

1 CONCRETE WALK NTS

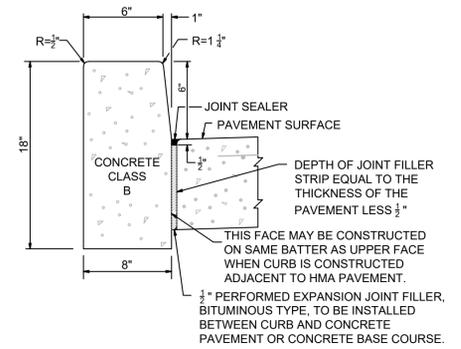


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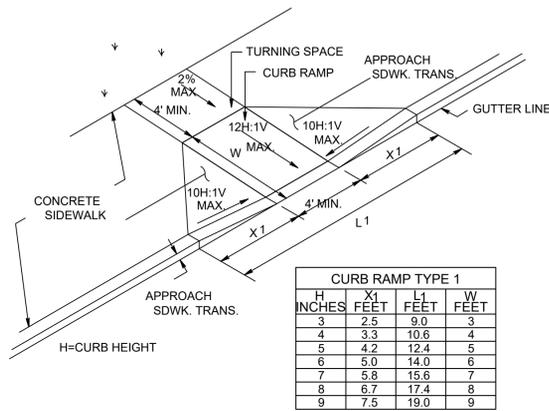
2 CONCRETE PAD AT GENERATOR NTS



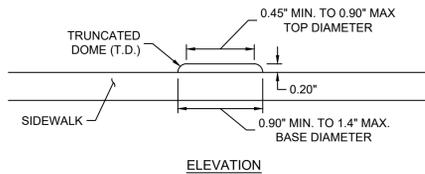
3 BOLLARD DETAIL NTS



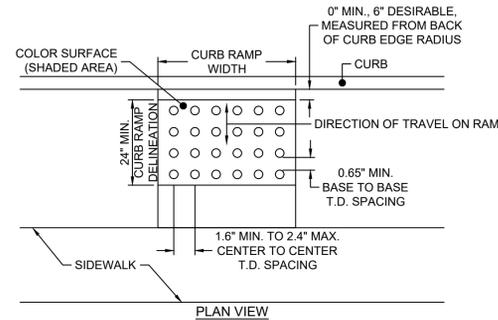
4 CONCRETE CURB NTS



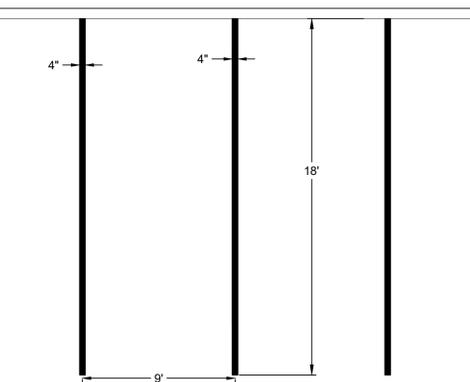
5 ADA RAMP DETAIL NTS



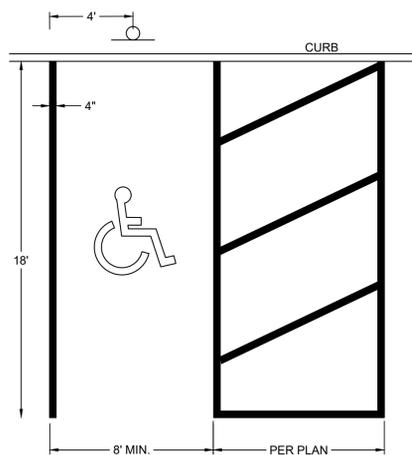
6 DETECTABLE WARNING SURFACE DETAIL NTS



PLAN VIEW

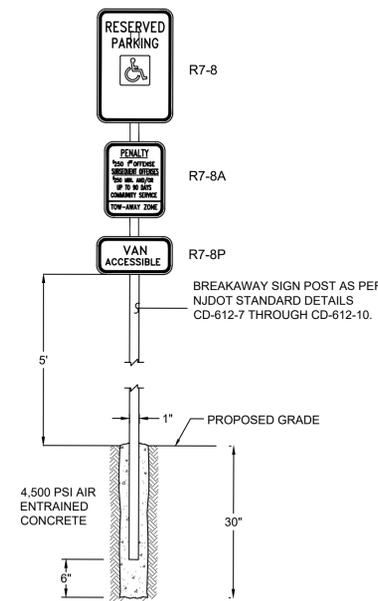


7 PARKING STALL NTS

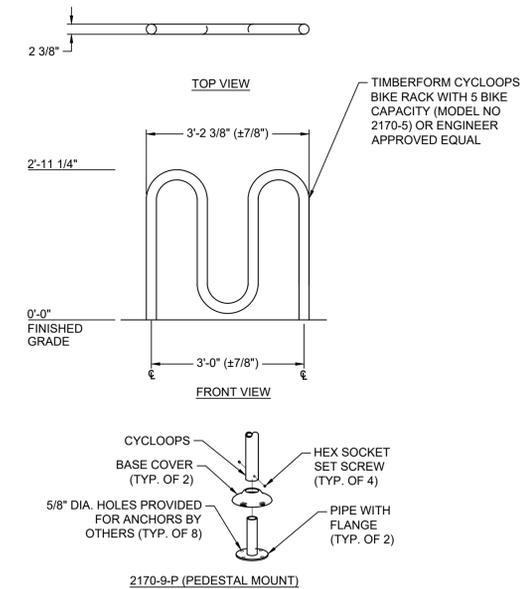


NOTES: SEE PLAN FOR PARKING SPACE DIMENSION AND LOCATION

8 ADA PARKING STALL NTS



9 ADA PARKING STALL SIGN NTS



10 BIKE RACK DETAIL NTS

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03/07/2022 DATE
 WAYNE J. INGRAM
 PROFESSIONAL LAND SURVEYOR
 N.J. P.E. NO. 24GB04258200

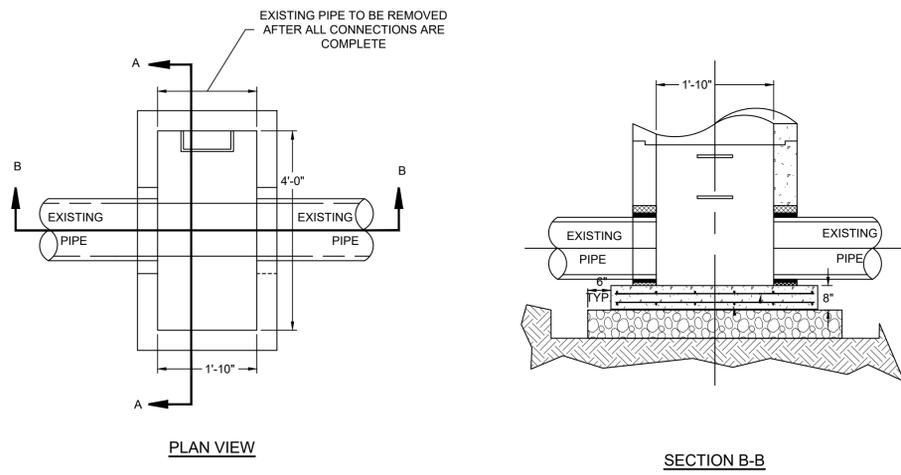
PROJECT:
 MIDDLE VALLEY PARTNERS, LLC
 BLOCK 41, LOTS 2 & 3
 RARITAN BOROUGH
 SOMERSET COUNTY NEW JERSEY

TITLE:
 CONSTRUCTION DETAILS

JOB NO.:	0122002	DRAWING NO.:	8
SCALE:	AS SHOWN		
DESIGNED:	CKW		
CHECKED:	RAB		
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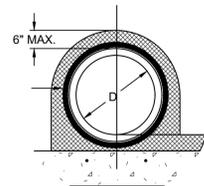
GENERAL:

1. EXTERIOR SURFACES SHALL BE PAINTED WITH TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
2. ALL CONSTRUCTION SHALL MEET STANDARD SPECIFICATIONS, THE LATEST REVISIONS.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST O.S.H.A. STANDARD, WHERE POSSIBLE.
4. APPLY TWO SEPARATE COATS OF APPROVED BLACK BITUMASTIC WATERPROOFING COMPOUND. COAT ENTIRE EXTERIOR, INCLUDING BOTTOM.

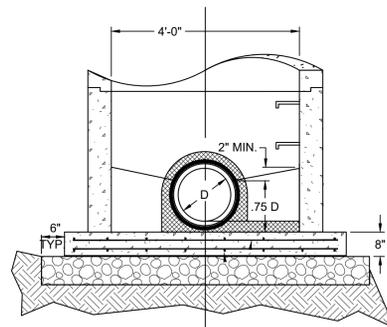


1 DOG HOUSE INLET DETAIL

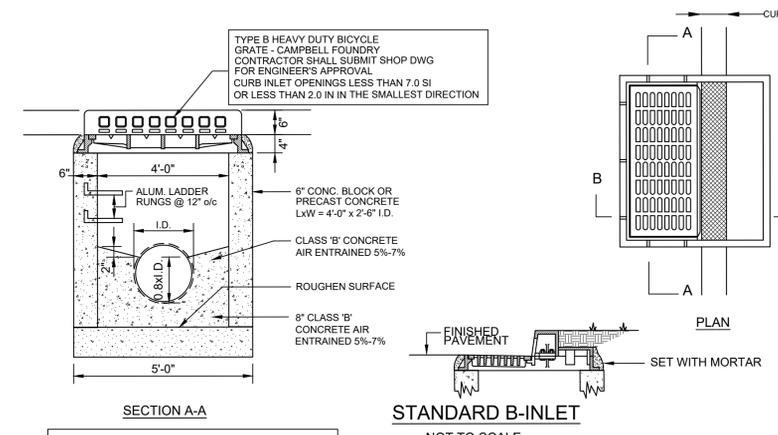
NTS



EX. CONN. DETAIL



SECTION A-A



SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

2 TYPE B INLET

NTS

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